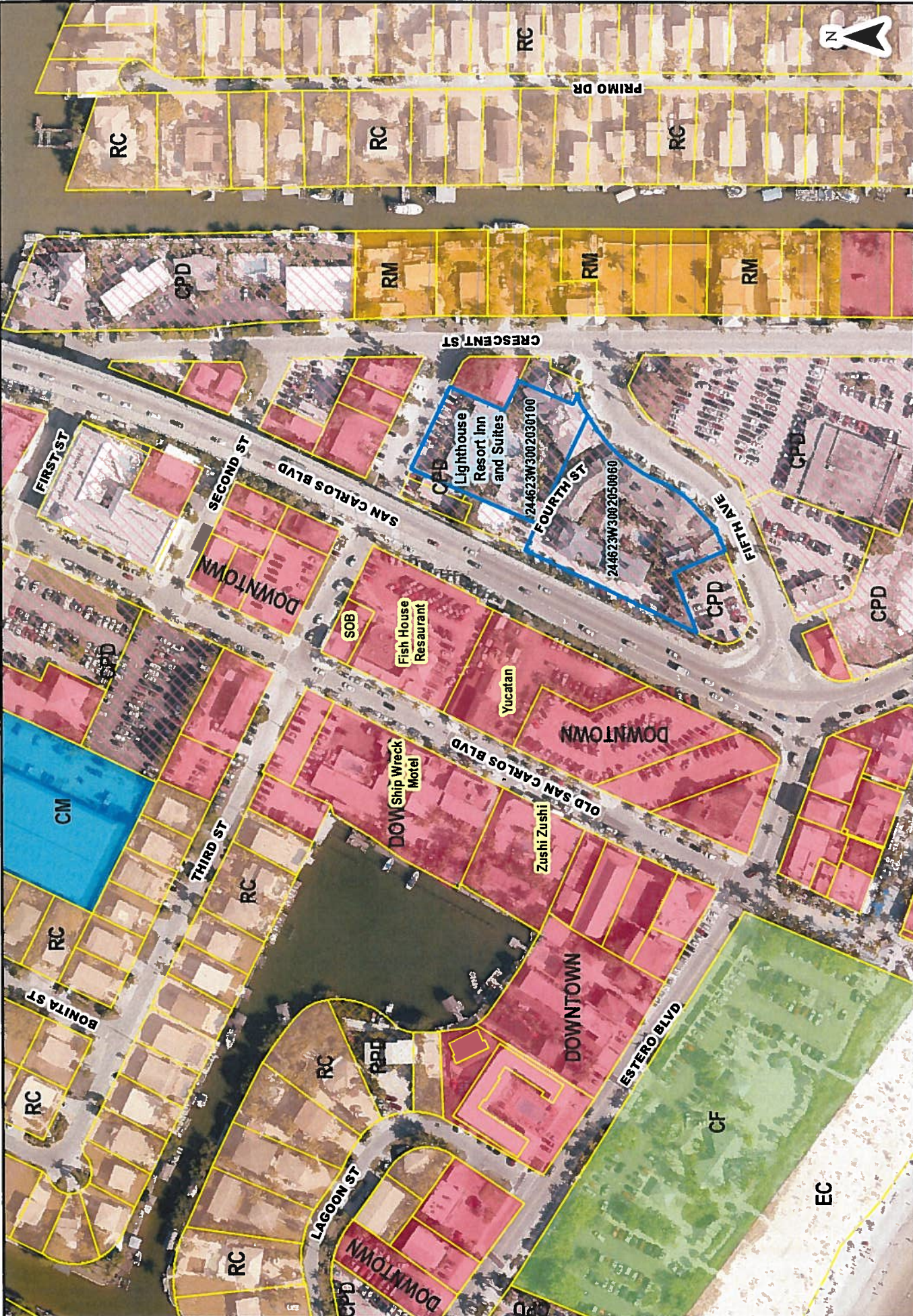






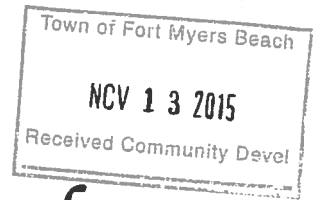
Town of Fort Myers Beach, Florida
 DEPARTMENT OF PUBLIC WORKS
 2523 ESTERO BOULEVARD, FORT MYERS BEACH, FLORIDA 33931
 (239) 765-0202

Lighthouse Restaurant Special Exception Site Location
 Case : MCP2015-0001

Date:	5/2/2016	Drawn By:	PW GIS
Sheet:	1	Scale:	1" = 175'

ZONING

W40 FOURTH ST & 1051 FIFTH ST	CF-Community Facilities	EC-Environmental Critical	RM-Residential Medium Density
Parcel Boundary	CM-Community Center	RC-Residential Community	CPD-Community Planned Development
	CF-Community Facilities	RC-Residential Community	EC-Environmental Critical
	CM-Community Center	RM-Residential Medium Density	CPD-Community Planned Development
	CF-Community Facilities	RC-Residential Community	EC-Environmental Critical



Town of Fort Myers Beach

COMMUNITY DEVELOPMENT DEPARTMENT

APPLICATION for PUBLIC HEARING

This is a two part application. Please be sure to fill out this form, which requires general information, as well as the Supplemental Form application specific to action requested for the subject property. Please submit *one ORIGINAL paper copy, eleven (11) copies and one digital/electronic copy* of all required applications, supplemental information, exhibits and documents. Please do not print and copy the instructions at the end of the application.

PROJECT NUMBER: MCP 2015-0001 DATE: _____

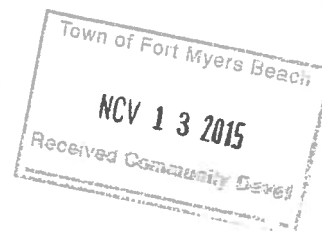
Site Address: 3RD STREET, FORT MYERS BEACH, 33931
STRAP Number: 24-46-23-W3-00205: 0060
24-46-23-W3-00203 (0090, 0100, 014A, 0150, 0190 & 019A)
Applicant: MCHARRIS PLANNING & DESIGN Phone: 239 948 6688
Contact Name: JOE MCHARRIS Phone: 239 821 4999
Email: JOE@MCHARRIS.COM Fax: 239 948 6689
Current Zoning District: CDD
Future Land Use Map (FLUM) Category: PEDESTRIAN COMMERCIAL
FLUM Density Range: N/A Platted Overlay: ☐ YES ☐ NO

ACTION REQUESTED

- ☐ Special Exception
- ☐ Variance
- ☐ Conventional Rezoning
- ☐ Planned Development ☐ Commercial ☐ Residential
- ☐ Master Concept Plan Extension
- ☐ Appeal of Administrative Action
- ☐ Vacation of Platted Right-of-way and Easement
- ☐ Other - cite LDC Section: MCP AMENDMENT

SUPPLEMENTAL FORM REQUIRED

- PH-A
- PH-B
- PH-C
- PH-D
- PH-E
- PH-F
- PH-G
- attach on separate sheet



PART I - General Information

A. Applicant*: MCHARRIS PLANNING & Design Phone: 239 940 6688

**Applicant must submit a statement under oath that he/she is the authorized representative of the property owner.*

Please see PART III to complete the appropriate Affidavit form for the type of applicant.

Applicant Mailing Address: 11338 BONITA BEACH RD SUITE 103

Email: JOE@MCHARRIS.COM Fax: 239 940 6689

Contact Name: JOE MCHARRIS Phone: 239 821 4999

B. Relationship of Applicant to subject property:

- | | | |
|---|--|--|
| ☐ Owner* | ☐ Land Trust* | ☐ Partnership* |
| ☐ Corporation* | ☐ Association* | ☐ Condominium* |
| ☐ Subdivision* | ☐ Timeshare Condo* | ☐ Contract Purchaser* |
| ☐ Authorized Representative* | ☐ Other* (please indicate) <u>CONSULT</u> | |

**Applicant must submit a statement under oath that he/she is the authorized representative of the property owner.*

Please see PART III to complete the appropriate Affidavit form for the type of applicant.

C. Authorized Agent(s). Please list the name of Agent authorized to receive correspondence Agents

Name: MCHARRIS Phone: 239 821-4999

Address: 11338 BONITA BEACH RD SUITE 103

Email: JOE@MCHARRIS.COM Fax: 239 940-6689

D. Other Agent(s). Please list the names of all Authorized Agents (attach extra sheets if necessary)

Name: _____ Phone: _____

Address: _____

Email: _____ Fax: _____

Name: _____ Phone: _____

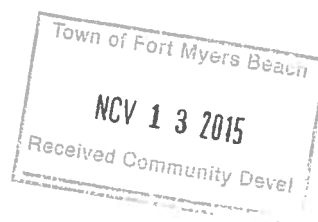
Address: _____

Email: _____ Fax: _____

Name: _____ Phone: _____

Address: _____

Email: _____ Fax: _____



PART II - Nature of Request

Requested Action (each request requires a separate application)

- ☐ Special Exception
- ☐ Variance from LDC Section _____ - _____
- ☐ Conventional Rezoning from _____ to _____
- ☐ Planned Development
- ☐ Rezoning from _____ to ☐ Commercial PD ☐ Residential PD
- ☒ Amendment. List the project number: _____
- ☐ Extension/reinstatement of Master Concept Plan. List project number: _____
- ☐ Appeal of Administrative Action
- ☐ Vacation ☐ Right-of-Way ☐ Easement
- ☐ Other. Please Explain: _____
- _____
- _____

PART III - Waivers

Please indicate any specific submittal items that have been waived by the Director for the request. Attach a copy of the signed approval as Exhibit 3-1. (Use additional sheets if necessary)

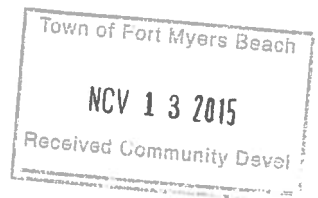
Code Section: N/A Description: _____

Code Section: N/A Description: _____

Code Section: N/A Description: _____

PART IV - Property Ownership

- ☐ Single Owner (individual or husband and wife)
- Name: _____ Phone: _____
- Mailing Address: _____
- Email: _____ Fax: _____



PART V - Property Information

A. Legal Description:

STRAP: 24-46-23-W3-00205, 0060, 24-46-23-N3-00203(0140, 0100, 0090 & 014A)

Property Address: 3RD STREET, FORT MYERS BEACH.

Is the subject property within a platted subdivision recorded in the official Plat Books of Lee

County? ☒ No. Attach a legible copy of the legal description as Exhibit 5-1.

☐ Yes. Property identified in subdivision: _____

Book: _____ Page: _____ Unit: _____ Block: _____ Lot(s): _____

B. Boundary Survey: N/A

☒ Attach a Boundary Survey of the property meeting the minimum standards of Chapter 61G17-6 of the Florida Administrative Code. A Boundary Survey must bear the raised seal and original signature of a Professional Surveyor and Mapper licensed to practice Surveying and Mapping by the State of Florida. Attach and label as Exhibit 5-2.

C. Property Dimensions:

Width (please provide an average width if irregular in shape) 146 +/- feet
Depth (please provide an average width if irregular in shape) 412 +/- feet
Frontage on street: 1166 +/- feet. Frontage on waterbody: NA feet
Total land area: 1.86 +/- ☒ acres ☐ square feet

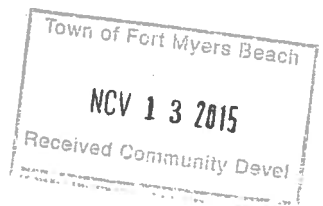
D. General Location of Subject Property (from Sky Bridge or Big Carlos Pass Bridge):

SOUTH OF SKY BRIDGE - & Right NEXT to the
BRIDGE

☒ Attach Area Location Map as Exhibit 5-3

E. Property Restrictions (check applicable):

- ☒ There are no deed restrictions and/or covenants on the subject property.
☐ A list of deed restrictions and/or covenants affecting the subject property is attached as Exhibit 5-4.
☐ A narrative statement detailing how the restrictions/covenants may or may not affect the request is attached as Exhibit 5-5.



F. Surrounding Property Owners (these items can be obtained from the Lee County Property Appraiser):

- ☒ Attach a list of surrounding property owners within 500 feet as Exhibit 5-6.
- ☒ Attach a map showing the surrounding property owners as Exhibit 5-7.
- ☒ Provide Staff with two (2) sets of surrounding property owner mailing labels.

G. Future Land Use Category (see Future Land Use Map):

- | | |
|---|--|
| ☐ Low Density | ☐ Marina |
| ☐ Mixed Residential | ☐ Recreation |
| ☐ Boulevard | ☐ Wetlands |
| ☒ Pedestrian Commercial | ☐ Platted Overlay |

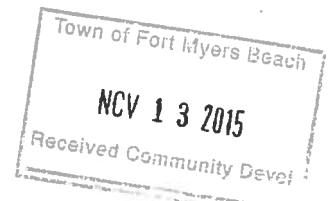
H. Zoning (see official Zoning Map):

- | | |
|--|--|
| ☐ RS (Residential Single-family) | ☐ CF (Community Facilities) |
| ☐ RC (Residential Conservation) | ☐ IN (Institutional) |
| ☐ RM (Residential Multifamily) | ☐ BB (Bay Beach) |
| ☐ RPD (Residential Planned Development) | ☐ EC (Environmentally Critical) |
| ☐ CM (Commercial Marine) | ☐ DOWNTOWN |
| ☐ CO (Commercial Office) | ☐ SANTOS |
| ☐ CB (Commercial Boulevard) | ☐ VILLAGE |
| ☐ CR (Commercial Resort) | ☐ SANTINI |
| ☒ CPD (Commercial Planned Development) | |

EXHIBIT II - G

DISCLOSURE OF OWNERSHIP INTEREST FORM FOR:

24-46-23-W3-00265-0060
STRAP NO. 24-46-23-W3-00203 (0090, 0100, 014A, 0150, 0190 & 019A) CASE NO.



1. If the property is owned in fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest.

Name and Address	Percentage of Ownership

2. If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each.

Name, Address, and Office	Percentage of Stock
THOMAS F. KOLAK - PRES	100%
277 PRIMO DR, Ft Myers Beach FL 33931	

3. If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

Name and Address	Percentage of Interest

4. If the property is in the name of a GENERAL PARTNERSHIP OR LIMITED PARTNERSHIP, list the names of the general and limited partners.

Name and Address	Percentage of Interest



5. If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners.

Name and Address	Percentage of Interest

Date of Contract: _____

6. If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust.

Name and Address	

For any changes of ownership or changes in contracts for purchase subsequent to the date of the application, but prior to the date of final certificate of compliance, a supplemental disclosure of interest must be filed.

The above is a full disclosure of all parties of interest in this application, to the best of my knowledge and belief.

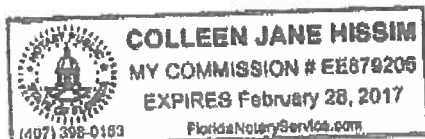
Signature: Thomas F. Kolar
(Applicant)

Thomas F. Kolar
(Printed or typed name of applicant)

STATE OF FLORIDA
COUNTY OF LEE

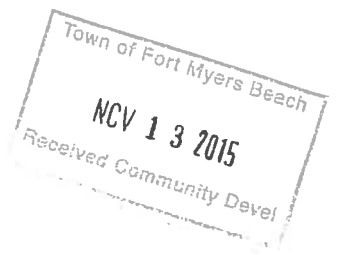
The foregoing instrument was acknowledged before me this 10 day of Nov, 2015, by Thomas F. Kolar, who is personally known to me or who has produced _____ as identification.

(SEAL)



Colleen Jane Hissim
Signature of Notary Public
Colleen Jane Hissim
Printed Name of Notary Public

Page 2 of 2



PART VI

AFFIDAVIT

APPLICATION IS SIGNED BY AN INDIVIDUAL OWNER OR APPLICANT

I, JOE MCHARRIS swear or affirm under oath, that I am the owner or the authorized representative of the owner(s) of the property and that:

I have full authority to secure the approval(s) requested and to impose covenants and restrictions on the referenced property as a result of any action approved by the Town of Fort Myers Beach in accordance with this application and the Land Development Code;

All answers to the questions in this application and any sketches, data or other supplementary matter attached hereto and made a part of this application are honest and true;

I have authorized the staff of the Town of Fort Myers Beach Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application; and that

The property will not be transferred, conveyed, sold or subdivided unencumbered by the conditions and restrictions imposed by the approved action.

[Signature]
Signature of owner or authorized agent

Date

STATE OF FLORIDA)
COUNTY OF LEE)

The foregoing instrument was sworn to (or affirmed) and subscribed before me on Nov 10, 2015 (date) by JOSEPH MCHARRIS (name of person providing oath or affirmation), who is personally known to me or who has produced _____ (type of identification) as identification.



[Signature]
Signature

TARA ROE
Printed Name

Town of Fort Myers Beach
NCV 1 3 2015
Received Community Devel

PART VII

AFFIDAVIT

APPLICATION IS SIGNED BY A CORPORATION, LIMITED LIABILITY COMPANY (L.L.C.),
LIMITED COMPANY (L.C.), PARTNERSHIP, LIMITED PARTNERSHIP, OR TRUSTEE

I, JOE MCHARRIS (name), as OWNER (title)
of MCHARRIS PLANNING & DESIGN (company), swear or affirm under oath, that I am the
owner or the authorized representative of the owner(s) of the property and that:

1. I have full authority to secure the approval(s) requested and to impose covenants and restrictions on the referenced property as a result of any action approved by the County in accordance with this application and the Land Development Code;
2. All answers to the questions in this application and any sketches, data or other supplementary matter attached hereto and made a part of this application are honest and true;
3. I have authorized the staff of Lee County Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application; and that
4. The property will not be transferred, conveyed, sold or subdivided unencumbered by the conditions and restrictions imposed by the approved action.

MCHARRIS PLANNING & DESIGN
Name of Entity (corporation, partnership, LLP, L.L.C., etc)

Signature

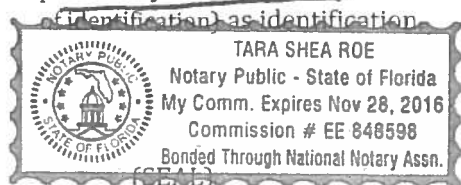
Title

Typed or Printed Name

Date

STATE OF FLORIDA)
COUNTY OF LEE)

The foregoing instrument was sworn to (or affirmed) and subscribed before me on Nov 10, 2015
(date) by JOSEPH MCHARRIS (name of person providing oath or affirmation), who is
personally known to me or who has produced _____ (type



Signature

Printed Name

EXHIBIT "A"

DESCRIPTION: (Per Survey)

A tract or parcel of land lying in Blocks 3 and 5 and a portion of vacated Fourth Street and a portion of vacated Fifth Avenue, all lying in BUSINESS CENTER, as recorded in Plat Book 9, at Pages 9 and 10, Public Records of Lee County, Florida and also lying in Section 24, Township 46 South, Range 23 East, Fort Myers Beach, Lee County, Florida, described as follows:

Beginning at the Northeastly corner of Lot 16, Block 3 of the aforesaid Business Center; thence run N.63°58'26"W. along the Southwesterly right-of-way line of Third Street (50 feet wide) for 137.00 feet; thence run S.26°01'34"W. for 95.00 feet; thence run N.63°58'26"W. for 28.00 feet to a point on the Northwesterly line of Lot 9 of the aforesaid Block 3 and the Southeasterly right-of-way line of Estero Boulevard; thence run S.26°01'34"W. for 65.00 feet to the Southwesterly corner of said Lot 9, Block 3; thence continue S.26°01'34"W. for 286.05 feet to a point on the Northwesterly line of Lot 7 of the aforesaid Block 5; thence run N.67°37'17"E. along the Northwesterly line of Lots 7, 8 and 9 of said Block 5 for 92.74 feet to the Northeastly corner of said Lot 9, Block 5; thence run S.22°22'43"E. along the Easterly line of said Lot 9 for 80.00 feet to the Southeasterly corner of said Lot 9 and the Northwesterly right-of-way line of Fifth Avenue; thence run N.67°37'17"E. for 28.38 feet; thence run N.46°59'05"E. for 46.47 feet to a point of curvature; thence run Northeastly for 56.05 feet along the arc of a curve concave Northwesterly, with a radius of 148.00 feet, a delta of 21°42'03", a chord bearing of N.36°08'05"E. and a chord distance of 55.72 feet to a point of reverse curvature; thence run Northeastly for 98.52 feet along the arc of a curve concave Southeasterly, with a radius of 212.00 feet, a delta of 26°37'36", a chord bearing of N.38°35'44"E. and a chord distance of 97.64 feet; thence run N.32°28'21"W. (not radial to the previously described line) for 80.09 feet; thence run N.57°26'35"E. for 109.20 feet to a point on the Southwesterly line of Lot 15, Block 3 of the aforesaid Business Center; Thence run N.63°58'26"W. along said Southwesterly line of Lot 15 for 11.51 feet to the Southeasterly corner of the aforesaid Lot 16, Block 3; thence run N.26°01'34"E. for 80.00 feet to the point of beginning.

Bearings are based on the Westerly right-of-way line of Crescent Street as being N.00°37'17"W.


John B. Harris

P.S.M. #4631

September 29, 2003

AND

Lot 16, Block E, of that certain subdivision known as CRESCENT PARK ADDITION, according to the map or plat there of on file and recorded in the office of the Clerk of the Circuit Court of Lee County, Florida in Plat Book 4, Page 46, together with all land lying between the East half of said Lot 16 and the canal, less and except the following: Beginning at the Southwest corner of said Lot 16, thence run North 0°37'53" West along the West line of Lot 16 for 50.00 feet to the Northwest corner of Lot 16; thence run North 89°22'07" East on the North line of Lot 16 for 13.50 feet; thence run South 0°37'53" East for 50.00 feet to the south line of Lot 16; thence run South 89°22'07" West along said South line for 13.50 feet to the point of beginning.

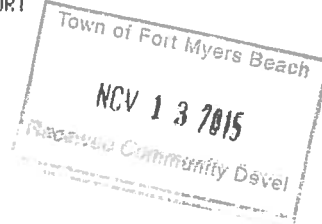
SCANNER'S MEMO
Best Image Available

8344W3-00203: 114X

This instrument was prepared by
and when recorded return to:
LISA M. LUSK
LUSK, DRASITES & TOLISANO, P.A.
202 S. DEL PRADO BOULEVARD
CAPE CORAL, FLORIDA 33990

INSTR # 5990190
Official Records BK 04077 PG 2405
RECORDED 10/01/2003 09:02:40 AM
CHARLIE GREEN, CLERK OF COURT
LEE COUNTY
RECORDING FEE 10.50
DEED DOC 15,976.80
DEPUTY CLERK J Miller

Grantee #1 S.S. No.:
Grantee #2 S.S. No.:
Property Appraiser's
Parcel Identification No.



QUITCLAIM DEED

This Quitclaim Deed, Executed the 27 day of September, 2003, by THOMAS F. KOLAR and MELINDA D. KOLAR, Husband and Wife, and THOMAS J. KOLAR and ELEANOR M. KOLAR, Husband and Wife, party of the first part, whose post office address is 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931 to and LIGHTHOUSE ISLAND RESORT, INC. a Florida corporation, party of the second part, whose post office address is 1051 Fifth Street, Fort Myers Beach, FL 33931.

(Wherever used herein the terms "party of the first part" and "party of the second part" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the party of the first part, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim unto the party of the second part forever, all the right, title, interest, claim and demand which the said party of the first part has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lee, State of Florida, to-wit:

See Exhibit "A"

To Have and To Hold, The same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said party of the second part forever.

In Witness Whereof, the said party of the first part has signed and sealed these presents the day and year first above written.

This property is not now, nor has it ever been homestead property of the grantor(s), nor contiguous thereto. The grantor(s) reside(s) at: 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931.

Signed, sealed, and delivered in our presence:

(First Witness)
Printed name: RANDY C. EDDY

(Second Witness)
Printed name: L.M. JAMES III

THOMAS F. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS F. KOLAR

MELINDA D. KOLAR (Seal)
Grantor - Printed or typed name: MELINDA D. KOLAR

THOMAS J. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS J. KOLAR

ELEANOR M. KOLAR (Seal)
Grantor - Printed or typed name: ELEANOR M. KOLAR

STATE OF FLORIDA
COUNTY OF LEE

The Foregoing Instrument was acknowledged before me this _____ day of September, 2003, by THOMAS F. KOLAR and MELINDA D. KOLAR, Husband and Wife, THOMAS J. KOLAR and ELEANOR M. KOLAR, husband and wife, who is(are) personally known to me or who has produced Florida driver's licenses as identification and who did (did not) take an oath.

My Commission Expires:

Lisa Lusk Drasites
Notary Public

Printed, typed, or stamped name:



Lisa Lusk Drasites
MY COMMISSION # CC944666 EXPIRES
October 31, 2004
BONDED THROUGH FARM INSURANCE INC.

(Serial Number, if any)

D.S. \$15,976.80
REC. 15.00
TOTAL 15,991.80

34-46-W3-00303, 014A

10.50
861.00
871.50

RECORD VERIFIED - CHARLIE GHEEN, CLERK.
BY: HELEN CARROLL, D.C.

This instrument Prepared by and Return to:
WILLIAM E. SHENKO, JR.
WILLIAM E. SHENKO, JR., P.A.
2801 ESTERO BOULEVARD, SUITE C
FORT MYERS BEACH, FLORIDA 33931

4100289

Town of Fort Myers Beach
NCV 1 3 2015
Received Community Devel

DR2784 PG3048

Property Appraisers Parcel Identification (Folio) Numbers:
24-46-23-W3-00203.014A

Grantee SS #: _____

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED, made the 13th day of January, A.D. 1997 by

MATTIE E. ABERT, a married woman herein called the grantor, to

LIGHTHOUSE ISLAND RESORT, INC., a Florida corporation whose post office address is: 1051 Fifth Street, Fort Myers Beach, FL 33931, hereinafter called the Grantee:

(Whoever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in LEE County, State of Florida, viz:

See Exhibit "A" attached hereto and made a part hereof.

THIS PROPERTY DOES NOT CONSTITUTE THE HOMESTEAD OF THE GRANTOR, WHO RESIDES AT: 19831 Adams Road, Fort Myers, FL 33908.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is/are lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1996.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Terry V. Myers
Witness 1 Signature as to MATTIE E. ABERT

Terry V. Myers
Type/Print Name of Witness 1

William E. Shenko, Jr.
Witness 2 Signature as to MATTIE E. ABERT

William E. Shenko, Jr.
Type/Print Name of Witness 2

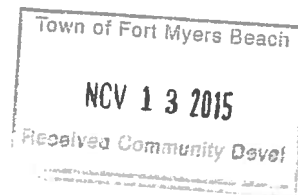
Mattie E. Abert L.S.
MATTIE E. ABERT
Post Office Box 67, Estero, FL 33928-0067

**STATE OF FLORIDA
COUNTY OF LEE**

The foregoing instrument was acknowledged before me this 13th day of January, 1997 by MATTIE E. ABERT, who () is/are personally known to me or (X) has produced _____ as identification.

Signature of Notary William E. Shenko, Jr.
Type/Print Name of Notary William E. Shenko, Jr.
Commission Number _____
Commission Expiration Date _____

WILLIAM E. SHENKO, JR.
MY COMMISSION # CC 282701
EXPIRES: May 31, 1997
Bonded This Notary Public Underwriters



0R2784 PG3049

EXHIBIT "A"

A parcel of land lying and being in Lot 14, Block 3, BUSINESS CENTER SUBDIVISION, according to the map or plat thereof on file and recorded in the office of the Clerk of Circuit Court in Plat Book 9, Page 10, Public Records of Lee County, Florida, more particularly described as: Commencing at the Southerly corner of said Lot 14 proceed Northerly along the Easterly boundary line of said Lot for 33.89 feet to the point of beginning; thence continue on the same course for a distance of 35.67 feet; thence deflect left 116°43'00" and proceed Westerly on the line common to said Lot 14 and 15 of said subdivision for a distance of 37.14 feet; thence deflect left 90° and run Southerly along the Westerly boundary of said Lot 14, (same being the line common to said Lot 14 and 13 of said subdivision) for a distance of 80 feet; thence deflect left 90° and run Easterly for a distance of 23.50 feet; thence deflect 90° for a distance of 49.10 feet; thence deflect right 91°35'40" for 29.43 feet to the point of beginning.

LESS AND EXCEPT THE FOLLOWING:

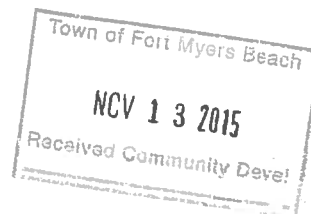
Part of Lot 14, Block 3, BUSINESS CENTER, a subdivision in Section 24, Township 46 South, Range 23 East, as shown on the plat recorded in Plat Book 9, Pages 9 and 10 of the Public Records of Lee County, Florida, more particularly described as follows: Beginning at the Northeasterly corner of said Lot 14; thence run S 00°37'53" E along the Easterly line of Lot 14 for 35.57 feet; thence run N 62°02'23" W for 3.99 feet; thence run N 00°37'53" W on a line parallel to and 3.0 feet Westerly of the Easterly line of Lot 14 for 35.42 feet to the Northerly line of Lot 14; thence run S 63°58'26" E for 3.92 feet to the point of beginning.

HARLIE GREEN LEC CTY FL
97 JAN 23 PM 4:17

This instrument was prepared by
and when recorded return to:
LISA M. LUSK
LUSK, DRASITES & TOLISANO, P.A.
202 S. DEL PRADO BOULEVARD
CAPE CORAL, FLORIDA 33990

INSTR # 5990190
Official Records BK 04077 PG 2405
RECORDED 10/01/2003 09:02:40 AM
CHARLIE GREEN, CLERK OF COURT
LEE COUNTY
RECORDING FEE 10.50
DEED DUE 10,9/6.80
DEPUTY CLERK J Miller

2
Grantee #1 S.S. No.:
Grantee #2 S.S. No.:
Property Appraiser's
Parcel Identification No.



QUITCLAIM DEED

This Quitclaim Deed, Executed the 27 day of September, 2003, by **THOMAS F. KOLAR** and **MELINDA D. KOLAR**, Husband and Wife, and **THOMAS J. KOLAR** and **ELEANOR M. KOLAR**, Husband and Wife, party of the first part, whose post office address is 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931 to and **LIGHTHOUSE ISLAND RESORT, INC.** a Florida corporation, party of the second part, whose post office address is 1051 Fifth Street, Fort Myers Beach, FL 33931.

(Wherever used herein the terms "party of the first part" and "party of the second part" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the party of the first part, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim unto the party of the second part forever, all the right, title, interest, claim and demand which the said party of the first part has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lee, State of Florida, to-wit:

See Exhibit "A"

To Have and To Hold, The same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said party of the second part forever.

In Witness Whereof, the said party of the first part has signed and sealed these presents the day and year first above written.

This property is not now, nor has it ever been homestead property of the grantor(s), nor contiguous thereto. The grantor(s) reside(s) at: 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931.

Signed, sealed, and delivered in our presence:

(First Witness)
Printed name: RANDY C. EDDY
(Second Witness)
Printed name: L.M. JAMES III

THOMAS F. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS F. KOLAR

MELINDA D. KOLAR (Seal)
Grantor - Printed or typed name: MELINDA D. KOLAR

THOMAS J. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS J. KOLAR

ELEANOR M. KOLAR (Seal)
Grantor - Printed or typed name: ELEANOR M. KOLAR

STATE OF FLORIDA
COUNTY OF LEE

The Foregoing Instrument was acknowledged before me this _____ day of September, 2003, by **THOMAS F. KOLAR** and **MELINDA D. KOLAR**, Husband and Wife, **THOMAS J. KOLAR** and **ELEANOR M. KOLAR**, husband and wife, who is(are) personally known to me or who has produced Florida driver's licenses as identification and who did (did not) take an oath.

My Commission Expires:

Lisa Lusk Drasites
Notary Public
Printed, typed, or stamped name:


Lisa Lusk Drasites
MY COMMISSION # CC944666 EXPIRES
October 31, 2004
BONDED THRU TROY FARM INSURANCE, INC.
(Serial Number, if any)

D.S. \$15,976.80
REC. 15.00
TOTAL 15,991.80

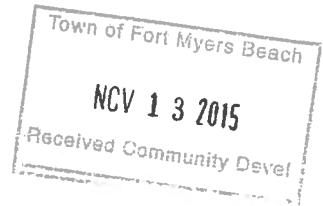


EXHIBIT "A"

DESCRIPTION: (Per Survey)

A tract or parcel of land lying in Blocks 3 and 5 and a portion of vacated Fourth Street and a portion of vacated Fifth Avenue, all lying in BUSINESS CENTER, as recorded in Plat Book 9, at Pages 9 and 10, Public Records of Lee County, Florida and also lying in Section 24, Township 46 South, Range 23 East, Fort Myers Beach, Lee County, Florida, described as follows:

Beginning at the Northeasterly corner of Lot 16, Block 3 of the aforesaid Business Center; thence run N.63°58'26"W. along the Southwesterly right-of-way line of Third Street (50 feet wide) for 137.00 feet; thence run S.26°01'34"W. for 95.00 feet; thence run N.63°58'26"W. for 28.00 feet to a point on the Northwesterly line of Lot 9 of the aforesaid Block 3 and the Southeasterly right-of-way line of Estero Boulevard; thence run S.26°01'34"W. for 65.00 feet to the Southwesterly corner of said Lot 9, Block 3; thence continue S.26°01'34"W. for 286.05 feet to a point on the Northwesterly line of Lot 7 of the aforesaid Block 5; thence run N.67°37'17"E. along the Northwesterly line of Lots 7, 8 and 9 of said Block 5 for 92.74 feet to the Northeasterly corner of said Lot 9, Block 5; thence run S.22°22'43"E. along the Easterly line of said Lot 9 for 80.00 feet to the Southeasterly corner of said Lot 9 and the Northwesterly right-of-way line of Fifth Avenue; thence run N.67°37'17"E. for 28.38 feet; thence run N.46°59'05"E. for 46.47 feet to a point of curvature; thence run Northeasterly for 56.05 feet along the arc of a curve concave Northwesterly, with a radius of 148.00 feet, a delta of 21°42'03", a chord bearing of N.36°08'05"E. and a chord distance of 55.72 feet to a point of reverse curvature; thence run Northeasterly for 98.52 feet along the arc of a curve concave Southeasterly, with a radius of 212.00 feet, a delta of 26°37'36", a chord bearing of N.38°35'44"E. and a chord distance of 97.64 feet; thence run N.32°28'21"W. (not radial to the previously described line) for 80.09 feet; thence run N.57°26'35"E. for 109.20 feet to a point on the Southwesterly line of Lot 15, Block 3 of the aforesaid Business Center; Thence run N.63°58'26"W. along said Southwesterly line of Lot 15 for 11.51 feet to the Southeasterly corner of the aforesaid Lot 16, Block 3; thence run N.26°01'34"E. for 80.00 feet to the point of beginning.

Bearings are based on the Westerly right-of-way line of Crescent Street as being N.00°37'17"W.

John B. Harris

John B. Harris

P.S.M. #4631

September 29, 2003

AND

Lot 16, Block E, of that certain subdivision known as CRESCENT PARK ADDITION, according to the map or plat there of on file and recorded in the office of the Clerk of the Circuit Court of Lee County, Florida in Plat Book 4, Page 46, together with all land lying between the East half of said Lot 16 and the canal, less and except the following: Beginning at the Southwest corner of said Lot 16, thence run North 0°37'53" West along the West line of Lot 16 for 50.00 feet to the Northwest corner of Lot 16; thence run North 89°22'07" East on the North line of Lot 16 for 13.50 feet; thence run South 0°37'53" East for 50.00 feet to the south line of Lot 16; thence run South 89°22'07" West along said South line for 13.50 feet to the point of beginning.

SCANNER'S MEMO
Best Image Available

10.50
5579.00
5589.50

11-46-22-113-00762 11/15

RECORDS VERIFIED - CHARLIE GREEN, CLERK
BY: MARY JO ROBINSON, D.C.

4044489

Town of Fort Myers Beach
NCV 13-2015
Received Community Dev't

This Instrument Prepared by and Return to:
WILLIAM E. SHENKO, JR.
WILLIAM E. SHENKO, JR., P.A.
2801 ESTERO BOULEVARD, SUITE C
FORT MYERS BEACH, FLORIDA 33931

5579.00
m. Johnson

Property Appraisers Parcel Identification (Folio) Numbers:
24-46-23-02-00003.0100

Grantee SS #: _____
SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED, made the 19th day of September, A.D. 1996 by

GAIL S. SCHMITT, Individually and as Trustee of the Gail S. Schmitt Trust dated June 5, 1973 as amended July 6, 1984, and MARJORIE A. SCHMITT, Individually and as Trustee of the Marjorie A. Schmitt Trust dated June 5, 1973 as amended July 6, 1984 herein called the grantor, to

LIGHTHOUSE ISLAND RESORT, INC., a Florida corporation whose post office address is: 1050 Third Street, Fort Myers Beach, FL 33931, hereinafter called the Grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in LEE County, State of Florida, viz:

Lots 10, 11, 12, 13, 16, 17 and 18, Block 3 of that certain subdivision known as BUSINESS CENTER, according to the map or plat thereof on file and recorded in the Office of the Clerk of the Circuit Court of Lee County, Florida in Plat Book 9, Pages 9 and 10.

THIS PROPERTY DOES NOT CONSTITUTE THE HOMESTEAD OF THE GRANTOR, WHO RESIDES AT: 575 Carlos Circle, Fort Myers Beach, FL 33931.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is/are lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1995.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Jarvis B. Stanford
Witness 1 Signature as to Gail S. Schmitt
Jarvis B. Stanford
Type/Print Name of Witness 1

William E. Shenko Jr.
Witness 2 Signature as to Gail S. Schmitt
William E. Shenko Jr.
Type/Print Name of Witness 2

Jarvis B. Stanford
Witness 1 Signature as to Marjorie A. Schmitt
Jarvis B. Stanford
Type/Print Name of Witness 1

William E. Shenko Jr.
Witness 2 Signature as to Marjorie A. Schmitt
William E. Shenko Jr.
Type/Print Name of Witness 2

Gail S. Schmitt L.S.
GAIL S. SCHMITT, Individually and as Trustee of the Gail S. Schmitt Trust dated June 5, 1973 as amended 575 Carlos Circle, Fort Myers Beach, FL 33931

Marjorie A. Schmitt L.S.
MARJORIE A. SCHMITT, Individually and as Trustee of the Marjorie A. Schmitt Trust dated June 5, 1973 as amended 575 Carlos Circle, Fort Myers Beach, FL 33931

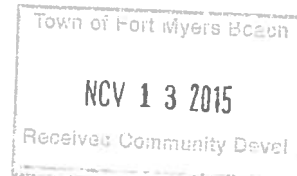
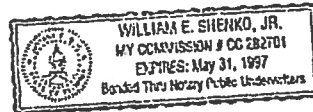
OR2752 Pg 160

96 OCT -9 PM 1:30

STATE OF FLORIDA
COUNTY OF LEE

The foregoing instrument was acknowledged before me this 19th day of September, 1996 by GAIL S. SCHMITT, individually and as Trustee of the Gail S. Schmitt Trust dated June 5, 1973 as amended July 6, 1984, and MARJORIE A. SCHMITT, individually and as Trustee of the Marjorie A. Schmitt Trust dated June 5, 1973 as amended July 6, 1984, who ☒ are personally known to me or () have produced _____ as identification.

Signature of Notary *William E. Shenko Jr.*
Type/Print Name of Notary William E. Shenko Jr.
Commission Number _____
Commission Expiration Date _____

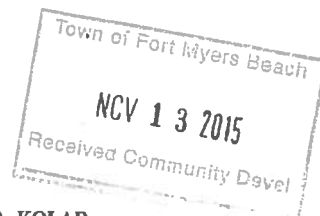


OR2752 Pg 16

This instrument was prepared by
and when recorded return to:
LISA M. LUSK
LUSK, DRASITES & TOLISANO, P.A.
202 S. DEL PRADO BOULEVARD
CAPE CORAL, FLORIDA 33990

INSTR # 5990190
Official Records BK 04077 PG 2405
RECORDED 10/01/2003 09:02:40 AM
CHARLIE GREEN, CLERK OF COURT
LEE COUNTY
RECORDING FEE 10.50
DEED DOC 15,976.80
DEPUTY CLERK J Miller

Grantee #1 S.S. No.:
Grantee #2 S.S. No.:
Property Appraiser's
Parcel Identification No.



QUITCLAIM DEED

This Quitclaim Deed, Executed the 29 day of September, 2003, by THOMAS F. KOLAR and MELINDA D. KOLAR, Husband and Wife, and THOMAS J. KOLAR and ELEANOR M. KOLAR, Husband and Wife, party of the first part, whose post office address is 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931 to and LIGHTHOUSE ISLAND RESORT, INC. a Florida corporation, party of the second part, whose post office address is 1051 Fifth Street, Fort Myers Beach, FL 33931.

(Wherever used herein the terms "party of the first part" and "party of the second part" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the party of the first part, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim unto the party of the second part forever, all the right, title, interest, claim and demand which the said party of the first part has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lee, State of Florida, to-wit:

See Exhibit "A"

To Have and To Hold, The same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said party of the second part forever.

In Witness Whereof, the said party of the first part has signed and sealed these presents the day and year first above written.

This property is not now, nor has it ever been homestead property of the grantor(s), nor contiguous thereto. The grantor(s) reside(s) at: 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931.

Signed, sealed, and delivered in our presence:

(First Witness)

Printed name: RANDY C. EDDY

(Second Witness)

Printed name: L.M. JAMES III

THOMAS F. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS F. KOLAR

MELINDA D. KOLAR (Seal)
Grantor - Printed or typed name: MELINDA D. KOLAR

THOMAS J. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS J. KOLAR

ELEANOR M. KOLAR (Seal)
Grantor - Printed or typed name: ELEANOR M. KOLAR

STATE OF FLORIDA
COUNTY OF LEE

The Foregoing Instrument was acknowledged before me this _____ day of September, 2003, by THOMAS F. KOLAR and MELINDA D. KOLAR, Husband and Wife, THOMAS J. KOLAR and ELEANOR M. KOLAR, husband and wife, who is(are) personally known to me or who has produced Florida driver's licenses as identification and who did (did not) take an oath.

My Commission Expires:

Lisa Lusk Drasites
Notary Public

Printed, typed, or stamped name:



Lisa Lusk Drasites
MY COMMISSION # CCF64466 EXPIRES
October 31, 2004
BONDED THROUGH FARM INSURANCE, INC.

(Serial Number, if any)

D.S. \$15,976.80
REC. 15.00
TOTAL 15,991.80

EXHIBIT "A"

DESCRIPTION: (Per Survey)

A tract or parcel of land lying in Blocks 3 and 5 and a portion of vacated Fourth Street and a portion of vacated Fifth Avenue, all lying in BUSINESS CENTER, as recorded in Plat Book 9, at Pages 9 and 10, Public Records of Lee County, Florida and also lying in Section 24, Township 46 South, Range 23 East, Fort Myers Beach, Lee County, Florida, described as follows:

Beginning at the Northeasterly corner of Lot 16, Block 3 of the aforesaid Business Center; thence run N.63°58'26"W. along the Southwesterly right-of-way line of Third Street (50 feet wide) for 137.00 feet; thence run S.26°01'34"W. for 95.00 feet; thence run N.63°58'26"W. for 28.00 feet to a point on the Northwesterly line of Lot 9 of the aforesaid Block 3 and the Southeasterly right-of-way line of Estero Boulevard; thence run S.26°01'34"W. for 65.00 feet to the Southwesterly corner of said Lot 9, Block 3; thence continue S.26°01'34"W. for 286.05 feet to a point on the Northwesterly line of Lot 7 of the aforesaid Block 5; thence run N.67°37'17"E. along the Northwesterly line of Lots 7, 8 and 9 of said Block 5 for 92.74 feet to the Northeasterly corner of said Lot 9, Block 5; thence run S.22°22'43"E. along the Easterly line of said Lot 9 for 80.00 feet to the Southeasterly corner of said Lot 9 and the Northwesterly right-of-way line of Fifth Avenue; thence run N.67°37'17"E. for 28.38 feet; thence run N.46°59'05"E. for 46.47 feet to a point of curvature; thence run Northeasterly for 56.05 feet along the arc of a curve concave Northwesterly, with a radius of 148.00 feet, a delta of 21°42'03", a chord bearing of N.36°08'05"E. and a chord distance of 55.72 feet to a point of reverse curvature; thence run Northeasterly for 98.52 feet along the arc of a curve concave Southeasterly, with a radius of 212.00 feet, a delta of 26°37'36", a chord bearing of N.38°35'44"E. and a chord distance of 97.64 feet; thence run N.32°28'21"W. (not radial to the previously described line) for 80.09 feet; thence run N.57°26'35"E. for 109.20 feet to a point on the Southwesterly line of Lot 15, Block 3 of the aforesaid Business Center; Thence run N.63°58'26"W. along said Southwesterly line of Lot 15 for 11.51 feet to the Southeasterly corner of the aforesaid Lot 16, Block 3; thence run N.26°01'34"E. for 80.00 feet to the point of beginning.

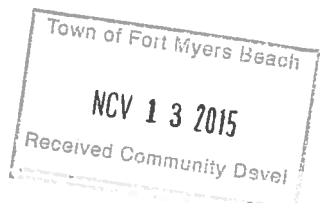
Bearings are based on the Westerly right-of-way line of Crescent Street as being N.00°37'17"W.


John B. Harris
P.S.M. #4631
September 29, 2003

AND

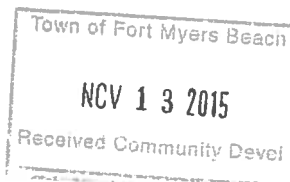
Lot 16, Block E, of that certain subdivision known as CRESCENT PARK ADDITION, according to the map or plat there of on file and recorded in the office of the Clerk of the Circuit Court of Lee County, Florida in Plat Book 4, Page 46, together with all land lying between the East half of said Lot 16 and the canal, less and except the following: Beginning at the Southwest corner of said Lot 16, thence run North 0°37'53" West along the West line of Lot 16 for 50.00 feet to the Northwest corner of Lot 16; thence run North 89°22'07" East on the North line of Lot 16 for 13.50 feet; thence run South 0°37'53" East for 50.00 feet to the south line of Lot 16; thence run South 89°22'07" West along said South line for 13.50 feet to the point of beginning.

SCANNER'S MEMO
Best Image Available



10.50
916.00
926.50

3847962



This instrument Prepared by and Return to:

WILLIAM E. SHENKO, JR.

WILLIAM E. SHENKO, JR., P.A.

2601 ESTERO BOULEVARD, SUITE C

FORT MYERS BEACH, FLORIDA 33931

Property Appraisers Parcel Identification (Folio) Numbers:

24-46-23-02-00003.0150

Grantee SS #: 117821946

910.00
Documentary Tax \$
Tax Fee
By: [Signature]

SPACE ABOVE THIS LINE FOR RECORDING DATA

RECORD VERIFIED - CHARLIE GREEN, CLERK
DATE: MARY JO HOSKINSON, D.C.

DR2641 P60270

THIS WARRANTY DEED, made the 25th day of September, A.D. 1995 by

ROBERT D. SWAVELY and KATHERINE SWAVELY, Husband and Wife and GEORGE D. BURRIDGE and MARGARET M. BURRIDGE, Husband and Wife, as tenants in common herein called the grantors, to

JOHN W. RICHARD, a single person whose post office address is: 202 Crescent Street, Fort Myers Beach, FL 33931, hereinafter called the Grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantors, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, assigns, remises, releases, conveys and confirms unto the grantee all that certain land situate in LEE County, State of Florida, viz:

Lot 15, Block 3, BUSINESS CENTER SUBDIVISION, according to the map or plat thereof on file and recorded in the office of the Clerk of the Circuit Court of Lee County, Florida, in Plat Book 9, pages 9 and 10. Less and except the following: beginning at the Northeastly corner of said Lot 15; thence run S 00°37'53" E on the Easterly line of Lot 15 for 89.46 feet to the Southeastly corner of Lot 15; thence run N 63°58'26" W on the Southerly line of Lot 15 for 3.92 feet; thence run N 00°37'53" W on a line parallel to and 3.0 feet Westerly of the Easterly line of Lot 15 for 83.95 feet; thence run N 32°16'14" W for 9.38 feet to the Northerly line of Lot 15; thence run S 83°58'26" E for 9.42 feet to the point of beginning.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantors hereby covenant with said grantee that the grantors lawfully seized of said land in fee simple; that the grantors have good right and lawful authority to sell and convey said land, and hereby warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1994.

IN WITNESS WHEREOF, the said grantors have signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Witness 1 Signature as to ROBERT D. SWAVELY
Judy Heataja
TypePrint Name of Witness 1

[Signature]
Witness 2 Signature as to ROBERT D. SWAVELY
William E. Shenko Jr.
TypePrint Name of Witness 2

[Signature]
Witness 1 Signature as to KATHERINE SWAVELY
Judy Heataja
TypePrint Name of Witness 1

[Signature]
Witness 2 Signature as to KATHERINE SWAVELY
William E. Shenko Jr.
TypePrint Name of Witness 2

[Signature]
ROBERT D. SWAVELY L.S.
19109 Flamingo Road, Fort Myers, FL 33912

[Signature]
KATHERINE SWAVELY L.S.
19109 Flamingo Road, Fort Myers, FL 33912

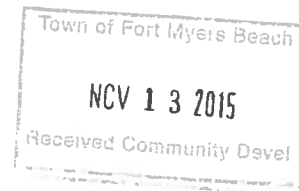
George D. Burridge
 Witness 1 Signature as to GEORGE D. BURRIDGE
Debra L. Windes
 Type/Print Name of Witness 1
Debra L. Windes
 Witness 2 Signature as to GEORGE D. BURRIDGE
 Type/Print Name of Witness 2

George D. Burridge L.S.
 GEORGE D. BURRIDGE
 7513 Hickory Road, Route 30, Fort Myers, FL 33912

Margaret M. Burridge
 Witness 1 Signature as to MARGARET M. BURRIDGE
Debra L. Windes
 Type/Print Name of Witness 1
Debra L. Windes
 Witness 2 Signature as to MARGARET M. BURRIDGE
 Type/Print Name of Witness 2

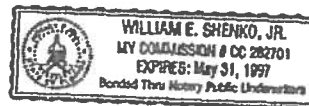
Margaret M. Burridge L.S.
 MARGARET M. BURRIDGE
 7513 Hickory Road, Route 30, Fort Myers, FL 33912

STATE OF FLORIDA Fla. 11113
 COUNTY OF LEE LCC



The foregoing instrument was acknowledged before me this 25th day of September, 1995, by ROBERT D. SWAVELY and KATHERINE SWAVELY, who () are personally known to me or (X) have produced FL. DIC as identification.

Signature of Notary William E. Shenko Jr.
 Type/Print Name of Notary William E. Shenko Jr.
 Commission Number _____
 Commission Expiration Date _____



STATE OF VIRGINIA
 COUNTY OF LEE
 City VIRGINIA BEACH

The foregoing instrument was acknowledged before me this 22 day of SEPTEMBER, 1995, by GEORGE D. BURRIDGE and MARGARET M. BURRIDGE, who () are personally known to me or (X) have produced VDL & Notary ID as identification.

Signature of Notary Sheep A. Forger
 Type/Print Name of Notary Sheep A. Forger
 Commission Number N/A
 Commission Expiration Date 10/31/95

DR2641 PG0271

95 OCT -5 PM 3:52

LEWIS GREEN LEE CIV. R.



This instrument was prepared by
and when recorded return to:
LISA M. LUSK
LUSK, DRASITES & TOLISANO, P.A.
202 S. DEL PRADO BOULEVARD
CAPE CORAL, FLORIDA 33990

INSTR # 5990190
Official Records BK 04077 PG 2405
RECORDED 10/01/2003 09:02:40 AM
CHARLIE GREEN, CLERK OF COURT
LEE COUNTY
RECORDING FEE 10.50
DEED DOC 15,976.80
DEPUTY CLERK J Miller

Grantee #1 S.S. No.:
Grantee #2 S.S. No.:
Property Appraiser's
Parcel Identification No.

QUITCLAIM DEED

This Quitclaim Deed, Executed the 27 day of September, 2003, by THOMAS F. KOLAR and MELINDA D. KOLAR, Husband and Wife, and THOMAS J. KOLAR and ELEANOR M. KOLAR, Husband and Wife, party of the first part, whose post office address is 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931 to and LIGHTHOUSE ISLAND RESORT, INC. a Florida corporation, party of the second part, whose post office address is 1051 Fifth Street, Fort Myers Beach, FL 33931.

(Wherever used herein the terms "party of the first part" and "party of the second part" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth, That the party of the first part, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim unto the party of the second part forever, all the right, title, interest, claim and demand which the said party of the first part has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lee, State of Florida, to-wit:

See Exhibit "A"

To Have and To Hold, The same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said party of the second part forever.

In Witness Whereof, the said party of the first part has signed and sealed these presents the day and year first above written.

This property is not now, nor has it ever been homestead property of the grantor(s), nor contiguous thereto. The grantor(s) reside(s) at: 916 Sand Carlos Drive, Ft. Myers Beach, FL 33931.

Signed, sealed, and delivered in our presence:

Randy C. Eddy
(First Witness)
Printed name: RANDY C. EDDY
L.M. Jones III
(Second Witness)
Printed name: L.M. JONES III

THOMAS F. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS F. KOLAR

MELINDA D. KOLAR (Seal)
Grantor - Printed or typed name: MELINDA D. KOLAR

THOMAS J. KOLAR (Seal)
Grantor - Printed or typed name: THOMAS J. KOLAR

ELEANOR M. KOLAR (Seal)
Grantor - Printed or typed name: ELEANOR M. KOLAR

STATE OF FLORIDA
COUNTY OF LEE

The Foregoing Instrument was acknowledged before me this _____ day of September, 2003, by THOMAS F. KOLAR and MELINDA D. KOLAR, Husband and Wife, THOMAS J. KOLAR and ELEANOR M. KOLAR, husband and wife, who is(are) personally known to me or who has produced Florida driver's licenses as identification and who did (did not) take an oath.

My Commission Expires:

Lisa Lusk Drasites
Notary Public
Printed, typed, or stamped name:



Lisa Lusk Drasites
MY COMMISSION # CC94466 EXPIRES
October 31, 2004
BONDED THRU TROY FAIRBANKS, INC.

(Serial Number, if any)

D.S. \$15,976.80
REC. 15.00
TOTAL 15,991.80

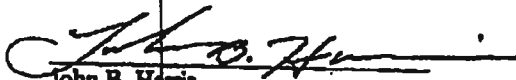
EXHIBIT "A"

DESCRIPTION: (Per Survey)

A tract or parcel of land lying in Blocks 3 and 5 and a portion of vacated Fourth Street and a portion of vacated Fifth Avenue, all lying in BUSINESS CENTER, as recorded in Plat Book 9, at Pages 9 and 10, Public Records of Lee County, Florida and also lying in Section 24, Township 46 South, Range 23 East, Fort Myers Beach, Lee County, Florida, described as follows:

Beginning at the Northeasterly corner of Lot 16, Block 3 of the aforesaid Business Center; thence run N.63°58'26"W. along the Southwesterly right-of-way line of Third Street (50 feet wide) for 137.00 feet; thence run S.26°01'34"W. for 95.00 feet; thence run N.63°58'26"W. for 28.00 feet to a point on the Northwesterly line of Lot 9 of the aforesaid Block 3 and the Southeasterly right-of-way line of Estero Boulevard; thence run S.26°01'34"W. for 65.00 feet to the Southwesterly corner of said Lot 9, Block 3; thence continue S.26°01'34"W. for 286.05 feet to a point on the Northwesterly line of Lot 7 of the aforesaid Block 5; thence run N.67°37'17"E. along the Northwesterly line of Lots 7, 8 and 9 of said Block 5 for 92.74 feet to the Northeasterly corner of said Lot 9, Block 5; thence run S.22°22'43"E. along the Easterly line of said Lot 9 for 80.00 feet to the Southeasterly corner of said Lot 9 and the Northwesterly right-of-way line of Fifth Avenue; thence run N.67°37'17"E. for 28.38 feet; thence run N.46°59'05"E. for 46.47 feet to a point of curvature; thence run Northeasterly for 56.05 feet along the arc of a curve concave Northwesterly, with a radius of 148.00 feet, a delta of 21°42'03", a chord bearing of N.36°08'05"E. and a chord distance of 55.72 feet to a point of reverse curvature; thence run Northeasterly for 98.52 feet along the arc of a curve concave Southeasterly, with a radius of 212.00 feet, a delta of 26°37'36", a chord bearing of N.38°35'44"E. and a chord distance of 97.64 feet; thence run N.32°28'21"W. (not radial to the previously described line) for 80.09 feet; thence run N.57°26'35"E. for 109.20 feet to a point on the Southwesterly line of Lot 15, Block 3 of the aforesaid Business Center; Thence run N.63°58'26"W. along said Southwesterly line of Lot 15 for 11.51 feet to the Southeasterly corner of the aforesaid Lot 16, Block 3; thence run N.26°01'34"E. for 80.00 feet to the point of beginning.

Bearings are based on the Westerly right-of-way line of Crescent Street as being N.00°37'17"W.


John B. Harris
P.S.M. #4631
September 29, 2003

AND

Lot 16, Block E, of that certain subdivision known as CRESCENT PARK ADDITION, according to the map or plat there of on file and recorded in the office of the Clerk of the Circuit Court of Lee County, Florida in Plat Book 4, Page 46, together with all land lying between the East half of said Lot 16 and the canal, less and except the following: Beginning at the Southwest corner of said Lot 16, thence run North 0°37'53" West along the West line of Lot 16 for 50.00 feet to the Northwest corner of Lot 16; thence run North 89°22'07" East on the North line of Lot 16 for 13.50 feet; thence run South 0°37'53" East for 50.00 feet to the south line of Lot 16; thence run South 89°22'07" West along said South line for 13.50 feet to the point of beginning.

Lighthouse Island Resort - Tiki
1051 5th Street
Fort Myers Beach, Fl. 33931

AERIAL PHOTOGRAPH

1"=200'



McHarris Planning & Design
11338 Bonita Beach Rd. S.E.
Suite 103
Bonita Springs, Fl. 34135

LDC Review and analysis

MPD has reviewed the LDC and believe we are more than compliant with all aspects of the code. Below in **bold, italic, underlined** are some major responses to items that are most relevant to the project.

- **Sec. 34-85. - Rezoning.**

(b)

Considerations. In reaching its decision, the town council shall consider the following, whenever applicable:

(1)

Whether there exists an error or ambiguity which must be corrected.

Not applicable

(2)

Whether there exist changed or changing conditions which make approval of the request appropriate.

We believe that this change is more beneficial to the existing area by shielding some of the uses from the street with a nice facade/wall

(3)

The impact of a proposed change on the intent of this chapter.

See above

(4)

The testimony of any applicant.

To be determined

(5)

The recommendation of staff and of the local planning agency.

To be determined

(6)

The testimony of the public.

To be determined

(7)

Whether the request is consistent with the goals, objectives, policies, and intent, and with the densities, intensities, and general uses as set forth in the Fort Myers Beach Comprehensive Plan.

See our analysis of the Fort Myers Beach Comprehensive Plan for this project

(8)

Whether the request meets or exceeds all performance and locational standards set forth for the proposed use.

This meets and exceeds performance and design criteria. The design is such that it is pleasing to the eye, while being mindful of its surrounding.

(9)

Whether urban services are, or will be, available and adequate to serve a proposed land use change.

Services are available

- (10) Whether the request will protect, conserve, or preserve environmentally critical areas and natural resources.
Not applicable as it is an already developed site
- (11) Whether the request will be compatible with existing or planned uses and not cause damage, hazard, nuisance, or other detriment to persons or property.
This is a continuation and betterment of what is already existing at the location
- (12) Whether the location of the request places an undue burden upon existing transportation or other services and facilities and will be served by streets with the capacity to carry traffic generated by the development.
This request does not place any undue burden on existing transportation or service facilities.

Design goals

- Development will be approved and a development order will be issued when the development is designed so as to reasonably achieve the following:

- (1) *Preservation of ecological integrity.* The development shall protect the town's natural, historic, and scenic resources, including air, surface, and subsurface waters, and shall preserve their ecological integrity. No new bridges, or any new causeways which require filling of wetlands or submerged lands, shall be constructed to any undeveloped island.
This is an existing project that maintains the town's natural resources and does not require additional bridges.
- (2) *Circulation.* There must be adequate circulation, ingress, and egress to the development for both pedestrians and motorists. Additionally, the development shall also achieve the following:
- a. Ingress and egress areas shall be of sufficient width to provide for servicing of utilities, refuse collection, and access for emergency vehicles.
This project maintain sufficient ingress and egress for services.
 - b. Development shall not cause traffic hazards or congestion which results from excessive exit and entrance points along major streets.
This project does not cause traffic hazard based on excessive ingress and egress.
- (3) *Water and sewage systems.* All new development must connect to the public potable water and sanitary sewer systems.
We are connected to public services

(4)

Drainage and stormwater management. The development must be designed in accordance with applicable runoff, retention, and attenuation requirements of SFWMD and this chapter. The development must be designed to avoid flooding or erosion damage to adjacent property and the town drainage system and to avoid the creation of stagnant pools that would encourage mosquito breeding. The development must provide a method of continual maintenance and operation through legal documentation and must ensure proper stormwater management so as to reduce the potential impacts of flooding.

Existing drainage and stormwater management is sufficient for this minor amendment.

(5)

Landscaping and buffering. Adequate landscaping, including buffers, to preserve compatibility with uses outside the proposed development must be provided.

Landscaping and buffers are more than adequate to preserve uses outside development area. This project is mostly surrounded by a bridge and roads.

(6)

Fire protection. The development must include an adequate fire protection system.

This project has a fire protection system.

(7)

Density and intensity. The development must have a density no higher than that which can be adequately supported by the facilities existing or agreed upon by the developer at the time the development order is issued.

We will abide by our D.O.

- *Historic resources.* The development must provide for the identification, recognition, protection, or mitigation of the historical and archaeological resources of the town, as provided by the historic preservation element of the Fort Myers Beach Comprehensive Plan and by ch. 22 of this code. Every effort must be made to locate required open space so as to protect archaeological sites.

Not applicable as this is a developed site

(9)

Outdoor lighting. All outdoor lighting must be designed and maintained:

a.

To curtail and reverse the degradation of the night-time visual environment by minimizing light pollution, glare, and light trespass through the form and use of outdoor lighting;

b.

To conserve energy and resources while maintaining night-time safety, utility, security and productivity; and

c.

To protect nesting sea turtles and sea turtle hatchlings by having all artificial lighting comply with the provisions of article II of ch. 14 of this LDC.

Agreed

DIVISION 7. - COMMERCIAL DESIGN STANDARDS

- The purposes of design regulations for commercial buildings include:

(1)

Encouraging traditional building forms that reinforce the pedestrian orientation and desired visual quality of the Town of Fort Myers Beach.

This project reinforces the pedestrian orientation better with the modification than it does without the new layout. The new layout provides the town with the desired visual quality by matching the existing design vernacular of the building and by screening interior uses.

(2)

Creating usable outdoor space through the arrangement of compatible commercial buildings along street frontages.

This project, the way it is designed, creates usable outdoor space along the street frontages.

(3)

Encouraging buildings of compatible type and scale to have creative ornamentation using varied architectural styles.

This building is creative in its scale and ornamentation

(4)

Enhancing the town's business districts as attractive destinations for recreation, entertainment and shopping.

This modification creates an attractive destination for recreation, and entertainment while protecting the adjacent uses. This is done by using good design and space planning.

(5)

Maintaining and enhancing the town's sense of place and its property values.

This modification enhances the town's sense of place and property values by the use of good design and planning.

(6)

Implementing the design concepts in the Fort Myers Beach Comprehensive Plan.

See Comprehensive plan analysis for this project

Comprehensive plan assessment

ENVISIONING TOMORROW'S FORT MYERS BEACH

This project is in the core area which has been envisioned to retain its residential and resort identity. This expansion protects the surrounding neighborhood with the addition of the wall while maintaining the bar restaurants friendly mix of locals and tourist.

COMMUNITY DESIGN AND LIVABILITY

The changes to the MCP will promote community design in these and many more ways.

- Shaping public spaces to feel like outdoor rooms, the “floor and walls” being the streets, trees, and building facades that encompass places to shop, park, meet a friend, eat,
- Promoting walkable streets designed for pedestrian comfort, with shade and interesting vistas.
- Promoting streets as the neighborhood realm, differentiated from fully private areas; bringing buildings closer to the street, with the private space on the other side of the structure’s wall; using the elevation required by flood regulations (rather than a deep front yard) to create privacy; using front porches, decks, picket fences, and other “cottage” elements to define space and promote a natural surveillance of the street.
- Rejuvenate the existing fabric of the community, encouraging its special character without being stuffy, and treasuring the eclectic nature of the town’s physical structures:
- Using design to promote compatibility of mixed land uses, making good neighbors of commercial uses (somewhere to walk to get a quart of milk), and accommodating residential uses of varying types and affordability.

Core Area Vision: “The Downtown Core Area boasts a revitalized entertainment area with tree-shaded outdoor cafes, pedestrian streets, and an “old Estero Island” character to the buildings”

Our design matches the above vision. This amendment will add to the entertainment area with shade, outdoor dining that is attached to the street, all the while adding to the old Estero Island look all the while being a good neighbor by blocking the daily operations and noises from the existing residents.

PEDESTRIAN AND BICYCLE CONNECTIONS

This request meets and exceeds the town’s vision for pedestrian and bicycles connections. We are not a car driven destination, but we serve both, the residents and the tourist and promote walking and other means of transportation.

GOALS - OBJECTIVES - POLICIES

GOAL 1-To continually improve the appearance and functioning of transportation corridors, commercial areas, and links to natural and recreational areas.

This request will improve the appearance and functioning of the commercial areas and links to the recreational areas. Our new space removes the view of automobiles from the sidewalk and street, while adding a pleasing wall that invites and separate. This wall is designed in the old Estero Island look which foster the areas identity

GOAL 2-To upgrade residential neighborhoods throughout Estero Island.

This amendment will improve on walkability, comfort, beauty, interconnectedness, and safety of the surrounding area.

Not only are we removing the view of parks cars with the wall, but the wall will also assist in noise abatement. This change will also create more eyes on the street and thus a safer area.

FUTURE LAND USE ELEMENT

NEGATIVE EFFECTS OF FLOOD REGULATIONS: The town is required to impose rigid floodplain management regulations before federal flood insurance is available to property owners, even though these regulations can block the rejuvenation of older neighborhoods.

We have worked extremely hard to design this space in order to meet all the rigged requirement of FEMA, while still maintain the elements that make a good space, a good neighbor and smart business decisions.

COMMERCIAL EXPANSION:

This is a common problem in mature resort communities, sometimes threatening existing residential areas. In areas that are suitable for commercial development, regulations can be changed so that building walls will "frame" an attractive pedestrian environment, instead of creating isolated buildings in barren parking lots.

Again we believe that we are doing what is suggested above, we are building walls that "frame an attractive pedestrian environment, instead of creating isolated buildings in barren parking lots".

GOAL 4: To keep Fort Myers Beach a healthy and vibrant "small town," while capitalizing on the vitality and amenities available in a beach-resort environment and minimizing the damage that a hurricane could inflict.

So done.

OBJECTIVE 4-ASMALL-TOWN CHARACTER — Maintain the small-town character of Fort Myers Beach and the pedestrian-oriented "public realm" that allows people to move around without their cars even in the midst of peak-season congestion

So done

CONSERVATION ELEMENT

This project has no impact on this element. This project is utilizing an already impacted location

TRANSPORTATION ELEMENT

This project has been design to retain guest and neighborhood residents on site and for them not to have to jump into their cars to find services elsewhere.

UTILITIES ELEMENT

This project has no impact on this element. This project is utilizing an already impacted location which has all required services in place.

STORMWATER MANAGEMENT ELEMENT

This project has no impact on this element. This project is utilizing an already impacted location which has all storm water management in place.

Summary

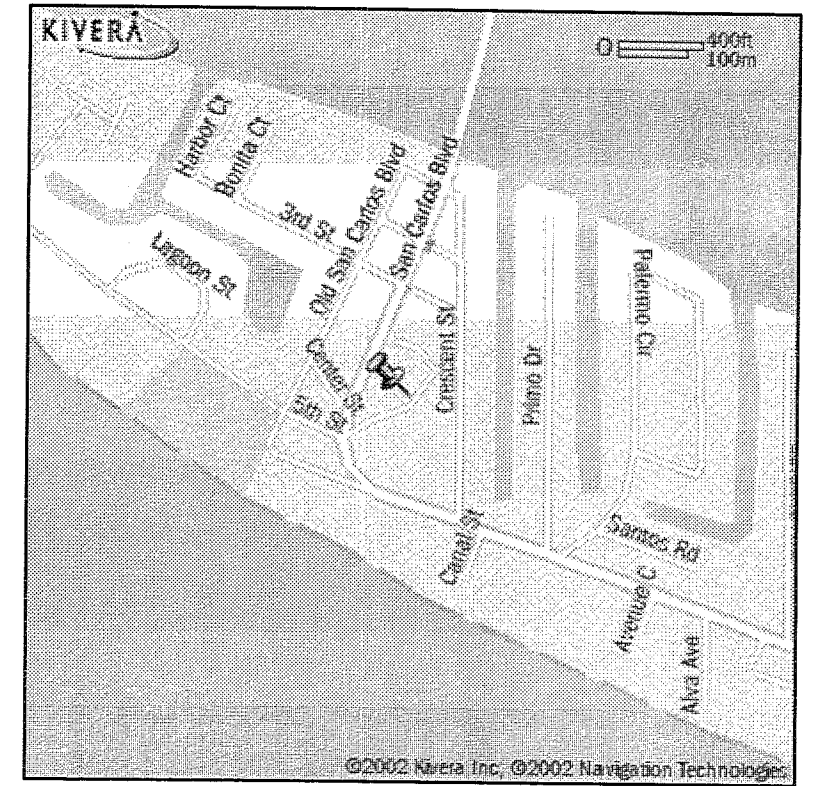
In summary this amendment/project has been designed to meet and exceed the town of Fort Myers Beach standards, to be the best neighbor they can be to both the immediate neighbors, and the town as a hole. While it is not easy to be located in a neighborhood, we have always maintained the balance that is required under these circumstances.

MASTER CONCEPT PLAN (CPD) FOR LIGHTHOUSE ISLAND RESORT

SOILS#
26

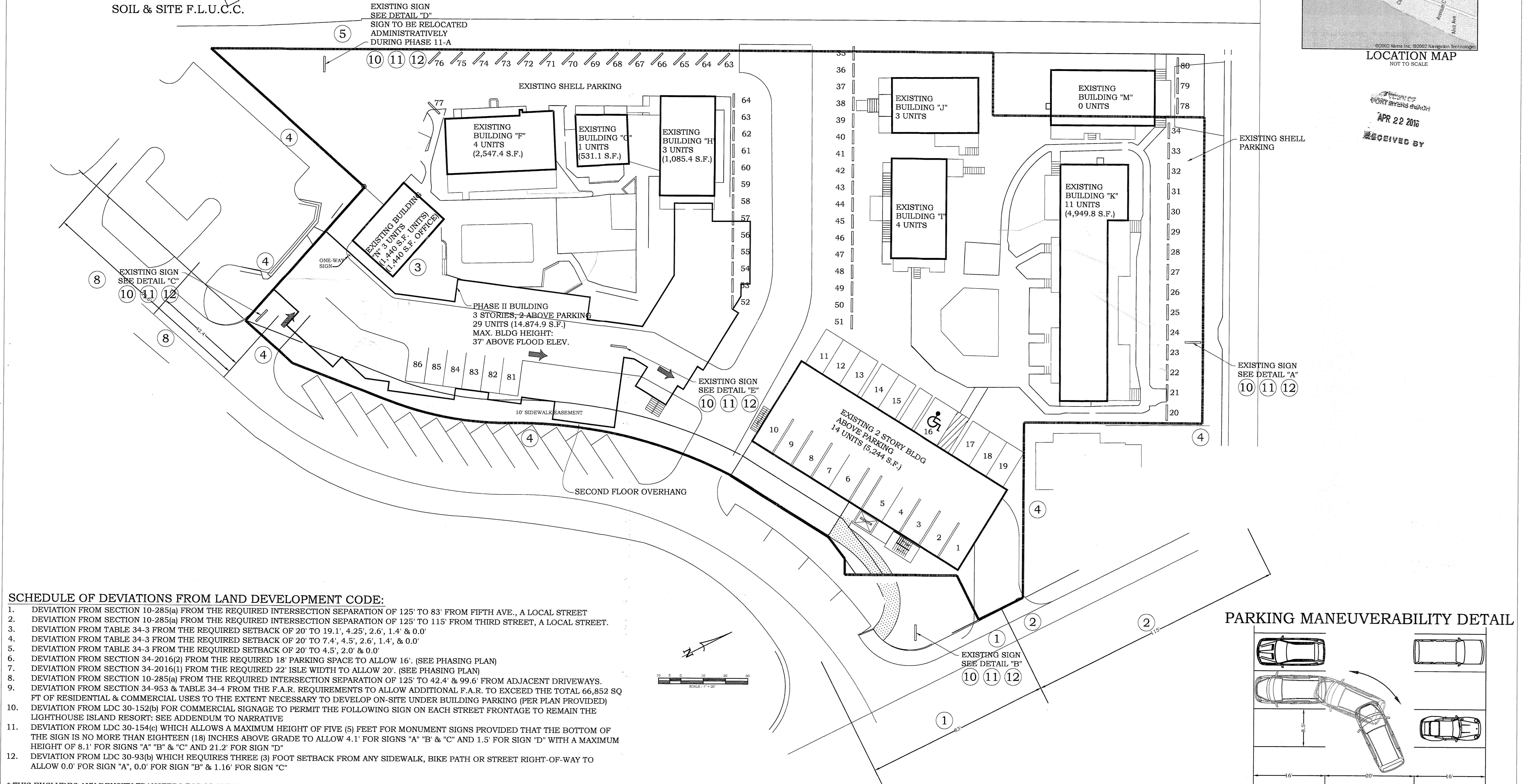
FLUCC #
147

SOIL & SITE F.L.U.C.C.



LOCATION MAP
NOT TO SCALE

APR 22 2016
RECEIVED BY

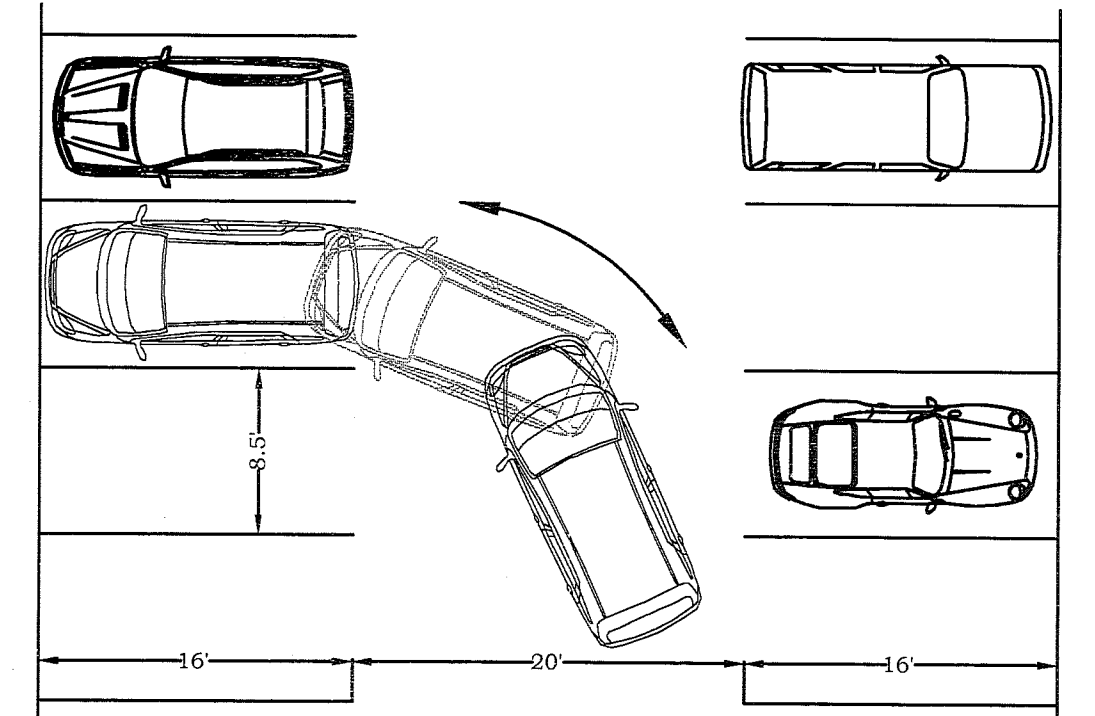


SCHEDULE OF DEVIATIONS FROM LAND DEVELOPMENT CODE:

1. DEVIATION FROM SECTION 10-285(a) FROM THE REQUIRED INTERSECTION SEPARATION OF 125' TO 83' FROM FIFTH AVE., A LOCAL STREET
2. DEVIATION FROM SECTION 10-285(a) FROM THE REQUIRED INTERSECTION SEPARATION OF 125' TO 115' FROM THIRD STREET, A LOCAL STREET.
3. DEVIATION FROM TABLE 34-3 FROM THE REQUIRED SETBACK OF 20' TO 19.1', 4.25', 2.6', 1.4' & 0.0'
4. DEVIATION FROM TABLE 34-3 FROM THE REQUIRED SETBACK OF 20' TO 7.4', 4.5', 2.6', 1.4', & 0.0'
5. DEVIATION FROM TABLE 34-3 FROM THE REQUIRED SETBACK OF 20' TO 4.5', 2.0' & 0.0'
6. DEVIATION FROM SECTION 34-2016(2) FROM THE REQUIRED 18' PARKING SPACE TO ALLOW 16'. (SEE PHASING PLAN)
7. DEVIATION FROM SECTION 34-2016(1) FROM THE REQUIRED 22' ISLE WIDTH TO ALLOW 20'. (SEE PHASING PLAN)
8. DEVIATION FROM SECTION 10-285(a) FROM THE REQUIRED INTERSECTION SEPARATION OF 125' TO 42.4' & 99.6' FROM ADJACENT DRIVEWAYS.
9. DEVIATION FROM SECTION 34-953 & TABLE 34-4 FROM THE F.A.R. REQUIREMENTS TO ALLOW ADDITIONAL F.A.R. TO EXCEED THE TOTAL 66,852 SQ FT OF RESIDENTIAL & COMMERCIAL USES TO THE EXTENT NECESSARY TO DEVELOP ON-SITE UNDER BUILDING PARKING (PER PLAN PROVIDED)
10. DEVIATION FROM LDC 30-152(b) FOR COMMERCIAL SIGNAGE TO PERMIT THE FOLLOWING SIGN ON EACH STREET FRONTAGE TO REMAIN THE LIGHTHOUSE ISLAND RESORT: SEE ADDENDUM TO NARRATIVE
11. DEVIATION FROM LDC 30-154(c) WHICH ALLOWS A MAXIMUM HEIGHT OF FIVE (5) FEET FOR MONUMENT SIGNS PROVIDED THAT THE BOTTOM OF THE SIGN IS NO MORE THAN EIGHTEEN (18) INCHES ABOVE GRADE TO ALLOW 4.1' FOR SIGNS "A" "B" & "C" AND 1.5' FOR SIGN "D" WITH A MAXIMUM HEIGHT OF 8.1' FOR SIGNS "A" "B" & "C" AND 21.2' FOR SIGN "D"
12. DEVIATION FROM LDC 30-93(b) WHICH REQUIRES THREE (3) FOOT SETBACK FROM ANY SIDEWALK, BIKE PATH OR STREET RIGHT-OF-WAY TO ALLOW 0.0' FOR SIGN "A", 0.0' FOR SIGN "B" & 1.16' FOR SIGN "C"

* THIS EXCLUDES ANY DENSITY TRANSFERS FOR PROPERTY THAT MAY BE INCLUDED IN THE FUTURE

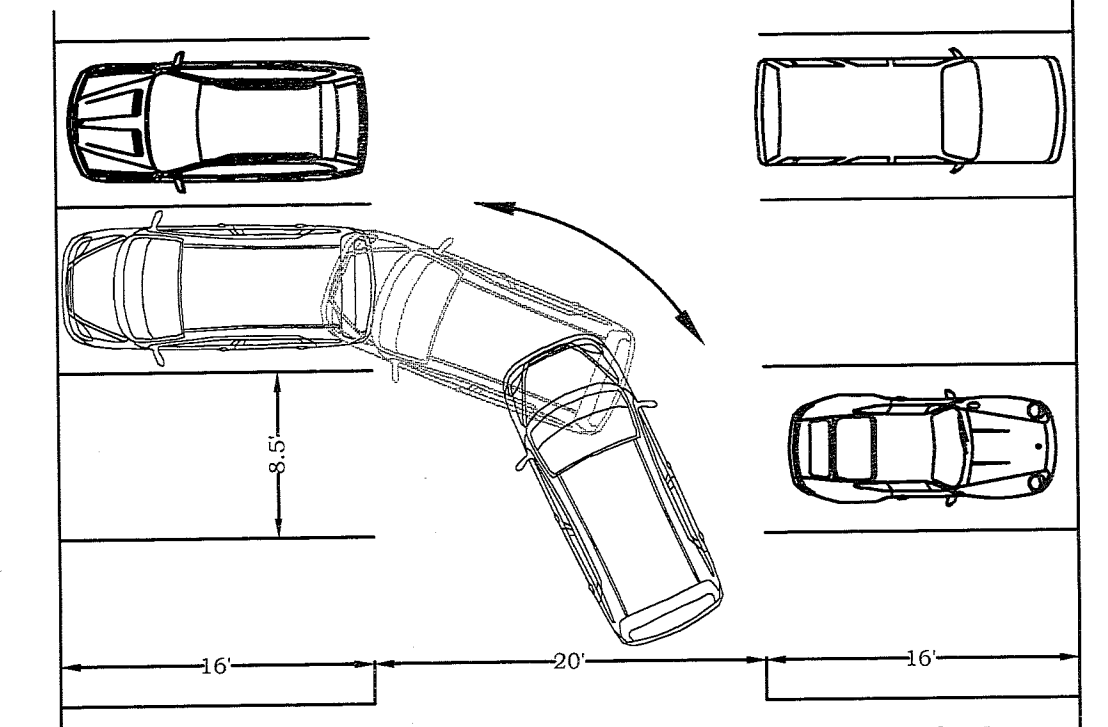
PARKING MANEUVERABILITY DETAIL



REVISED: 04-02-2014
EXHIBIT IV-K

SOILS# FLUCC #
26 147

EXISTING SIGN
SEE DETAIL "D"
SIGN TO BE RELOCATED
ADMINISTRATIVELY
DURING PHASE 11-A



REVISED: 04-02-2014
EXHIBIT IV-K

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* THIS EXCLUDES ANY DENSITY TRANSFERS FOR PROPERTY THAT MAY BE INCLUDED IN THE FUTURE

1. THE GENERAL CONTRACTOR SHALL BE FAMILIAR WITH THE WORK TO BE DONE. REPORT DISCREPANCIES TO MKPD.
2. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING RELATED WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO MKPD PRIOR TO COMMENCING RELATED WORK.
3. THE GENERAL CONTRACTOR SHALL, COORDINATE SUPPLY AND LOCATION OF ALL TYPES OF FINISHES, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB AND DEPRESSIONS AS MAY BE REQUIRED TO ACCOMMODATE RELATED WORK.
4. NOMINAL SIZES ARE USED UNLESS NOTED OTHERWISE.
5. NOMINAL SIZES ARE SHOWN UNLESS NOTED AS "NET". DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. DIMENSIONS INDICATED AS (CLEAR) OR (CLR) SHALL NOT BE ADJUSTED WITHOUT WRITTEN INSTRUCTION FROM MKPD. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
6. THE GENERAL CONTRACTOR SHALL VERIFY WINDOW AND DOOR ROUGH OPENING SIZES WITH THE MANUFACTURERS PRIOR TO PROCEEDING WITH RELATED WORK.
7. THE WORK SHALL CONFORM TO THE MINIMUM FIRE AND LIFE SAFETY CODE REQUIREMENTS IN ACCORDANCE WITH THE 2010 FLORIDA FIRE PREVENTION CODE.
8. THE WORK SHALL BE IN ACCORDANCE WITH APPLICABLE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
9. THESE DRAWINGS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 62B-33.007 OF THE FLORIDA ADMINISTRATIVE CODE.
10. INDICATIONS ON THE DRAWINGS ARE FOR NEW WORK UNLESS CALLED OUT AS EXISTING.
11. THE DESIGN WIND LOADS FOR STRUCTURAL SYSTEMS, MEMBERS, CLADDING AND FASTENERS WAS ACCORDING TO:
- LEE CODE REGULATIONS APPLYING WIND PRESSURES GIVEN BY A MINIMUM BASIC WIND SPEED OF 130 MPH
- 2010 FLORIDA BUILDING CODE.
- MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7-05
12. ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF MKPD PRIOR TO COMMENCEMENT OF RELATED WORK.
13. THE WORK SHALL BE DONE IN A SAFE AND ORDERLY MANNER WITHOUT DAMAGE TO OTHER PARTS ON THE PREMISES OR TO ADJACENT PROPERTIES.
14. PROVIDE BLOCKING TO ADEQUATELY SUPPORT FIXTURES, CABINETS, BATHROOM ACCESSORIES, HARDWARE AND EQUIPMENT SUSPENDED FROM CEILINGS OR MOUNTED ON WALLS.
15. MATERIAL CONTAINING ASBESTOS SHALL NOT BE USED AS PART OF THE WORK.

CONSTRUCTION CLASSIFICATION	TYPE VB, SPRINKLERED
OCCUPANCY CLASSIFICATION	GROUP A-2 (ASSEMBLY)
ZONING DISTRICT	CPD
OVERALL TENANT SPACE SQUARE FOOTAGE	37,294 (EXISTING, TOTAL AREA)
TENANT IMPROVEMENT SQUARE FOOTAGE	1,333 (EXISTING, PARKING AREA)
FIRE SEPARATION DISTANCE	>30
FIRE RESISTANCE REQUIREMENT	0 (PER TABLES 601 & 602)
FLOOD ZONE	AE-EL 13 (NAVD88)
ULTIMATE WIND SPEED	170 MPH
NOMINAL WIND SPEED	132 MPH
RISK CATEGORY	1
EXPOSURE	D
PARTIALLY ENCLOSED	
STRUCTURE, INTERNAL PRESSURE	+/-0.55
IMPORTANCE FACTOR	
THE EXISTING STRUCTURE ABOVE HAS BEEN CHECKED AND CAN SUPPORT THE NEW LOADS	OK
COMPONENTS & CLADDING PRESSURE	+55.0 -65.0 PSF

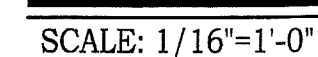
2014 FLORIDA BUILDING CODE
2014 FLORIDA EXISTING BUILDING CODE
2014 FLORIDA BUILDING CODE / ACCESSIBILITY
2014 FLORIDA PLUMBING CODE
2014 FLORIDA MECHANICAL CODE
2014 FLORIDA ENERGY CONSERVATION CODE
2014 FLORIDA FIRE PREVENTION CODE, FIFTH EDITION
2011 NATIONAL ELECTRICAL CODE (NFPA 70)

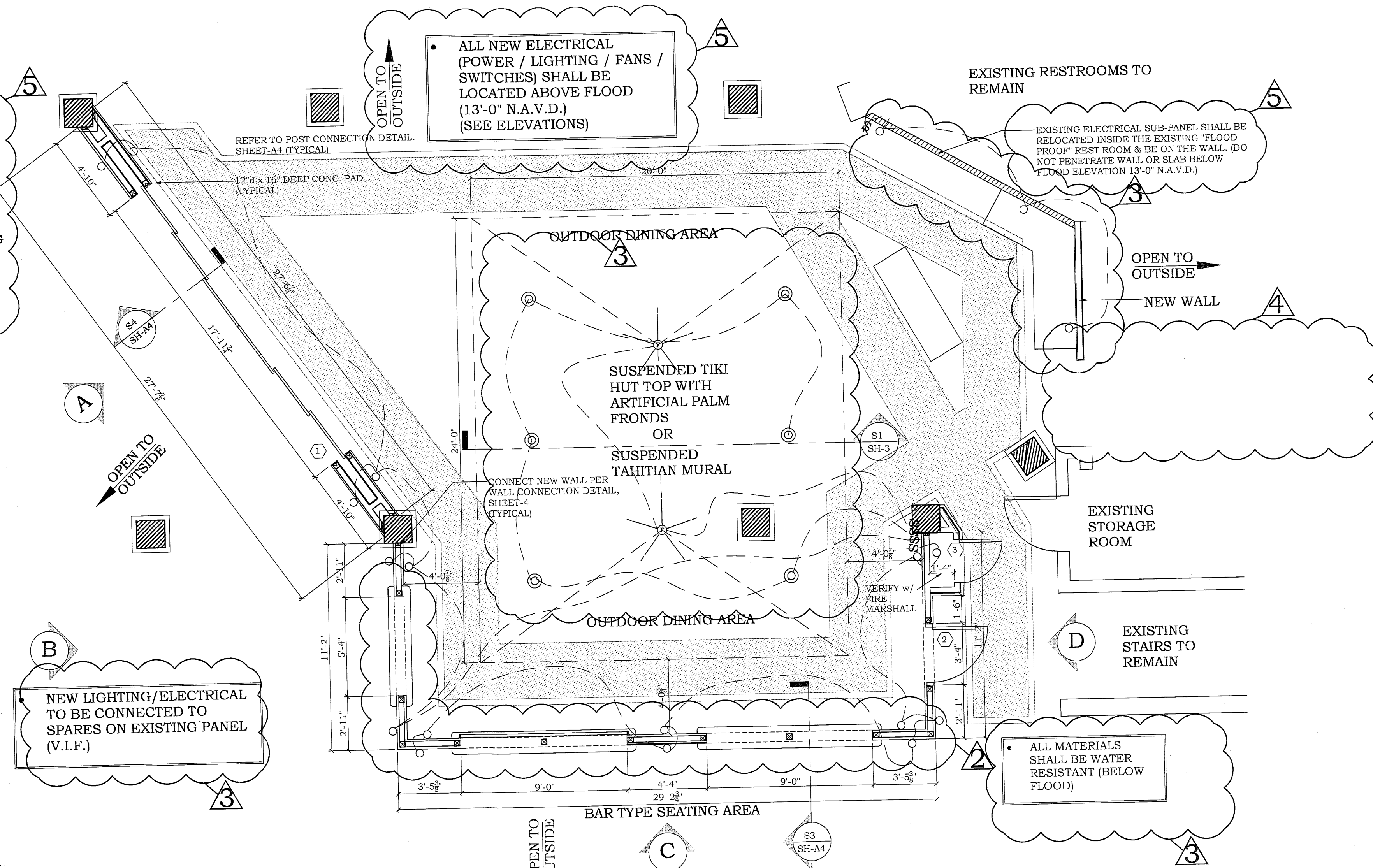
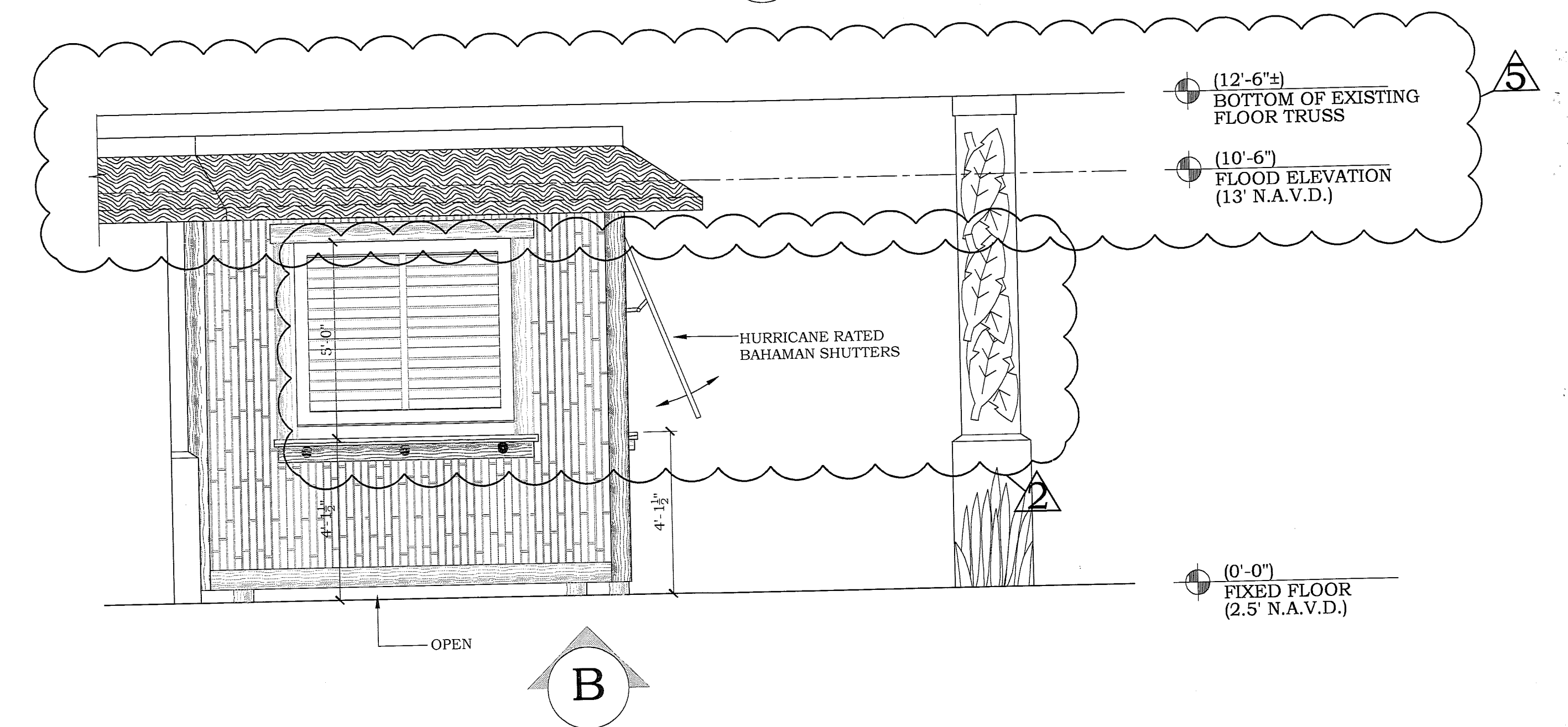
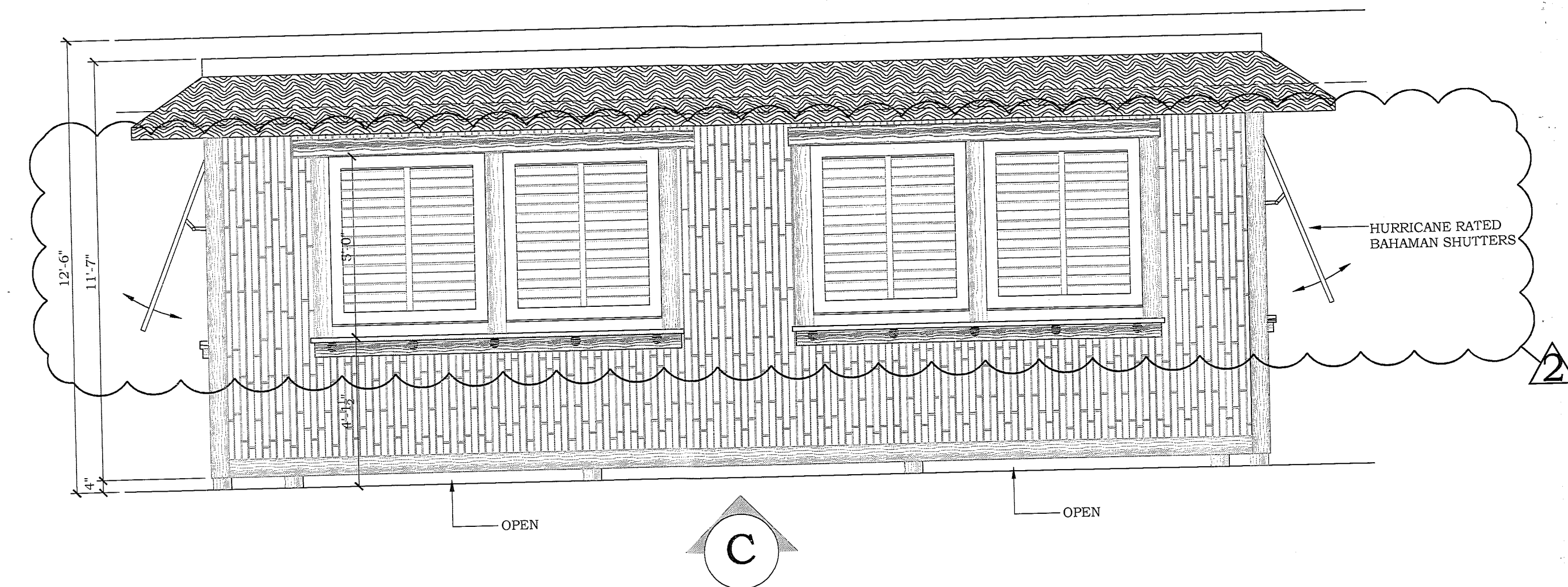
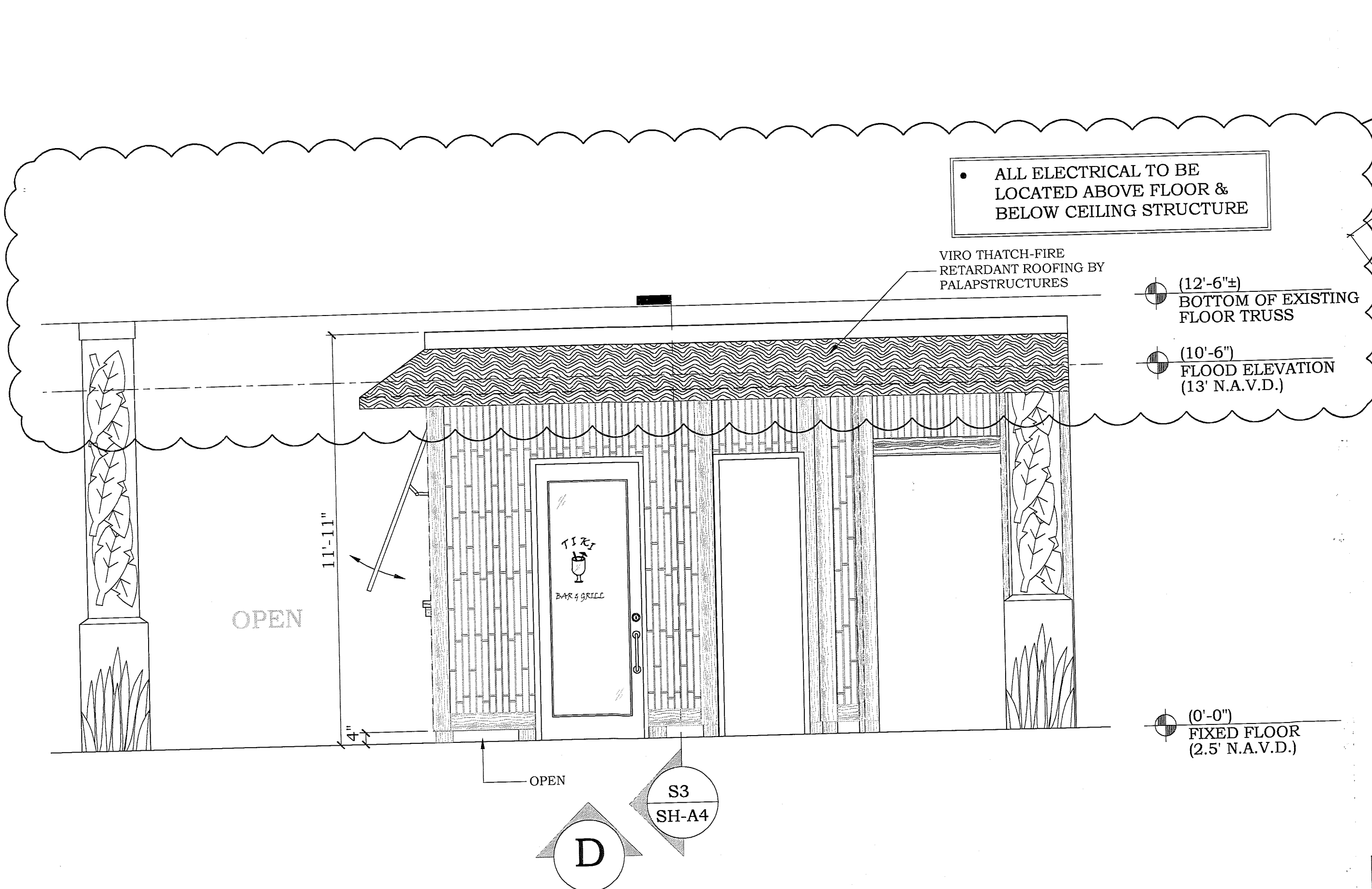
NOTE:
FIRE ALARM & FIRE SPRINKLER ADDITIONS OR
MODIFICATIONS ARE TO BE SUBMITTED FOR
PERMIT UNDER SEPARATE COVER BY
LANDLORD'S DESIGNATED SUBCONTRACTOR

135 GULFVIEW AVE
FT. MYERS BEACH, FL 33931
TEL: (239) 872-2179
EMAIL: jckosinski@cs.com

<u>PER FFPC 101:7.3.1.2:</u>	
OUTDOOR DINING #1 (ASSEMBLY)	1,024 SQ FT (@ 15 SQ FT/PERSON)= 68
OUTDOOR BAR AREA (BAR SEATING, ASSEMBLY)	51'-4" LF (@ 18" LF/PERSON) = 34
<u>TOTAL OCCUPANCY</u>	<u>106 PERSONS</u>

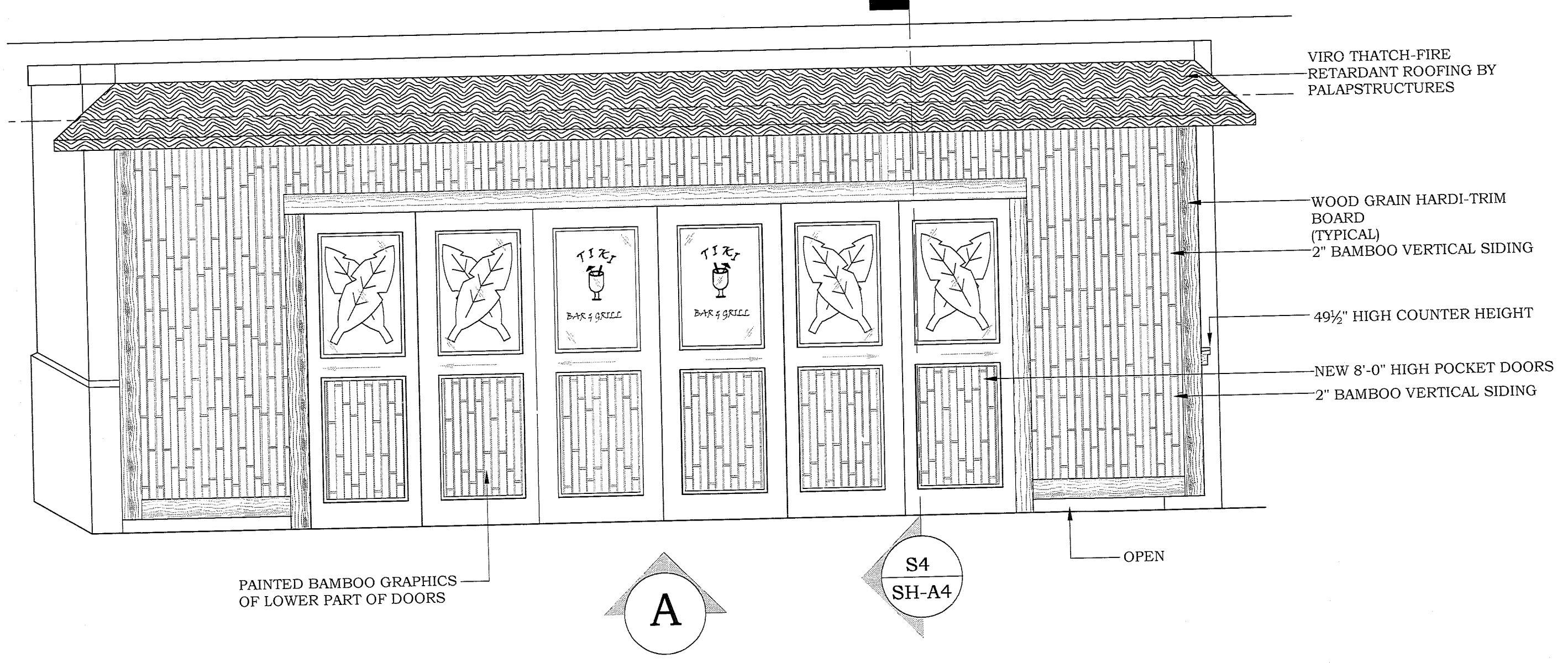
TOTAL AREA	1,333 SQ.FT.
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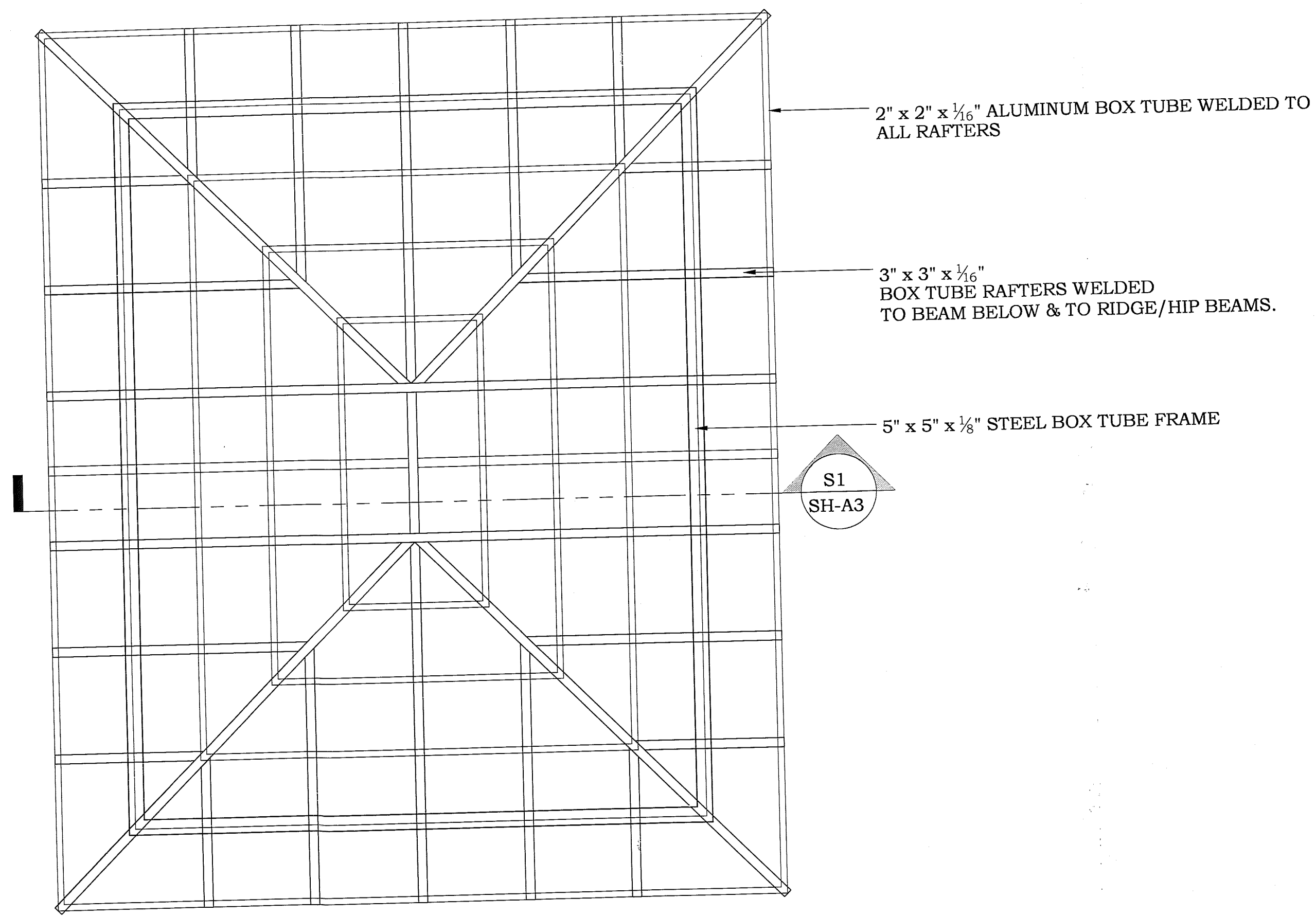
[illegible]



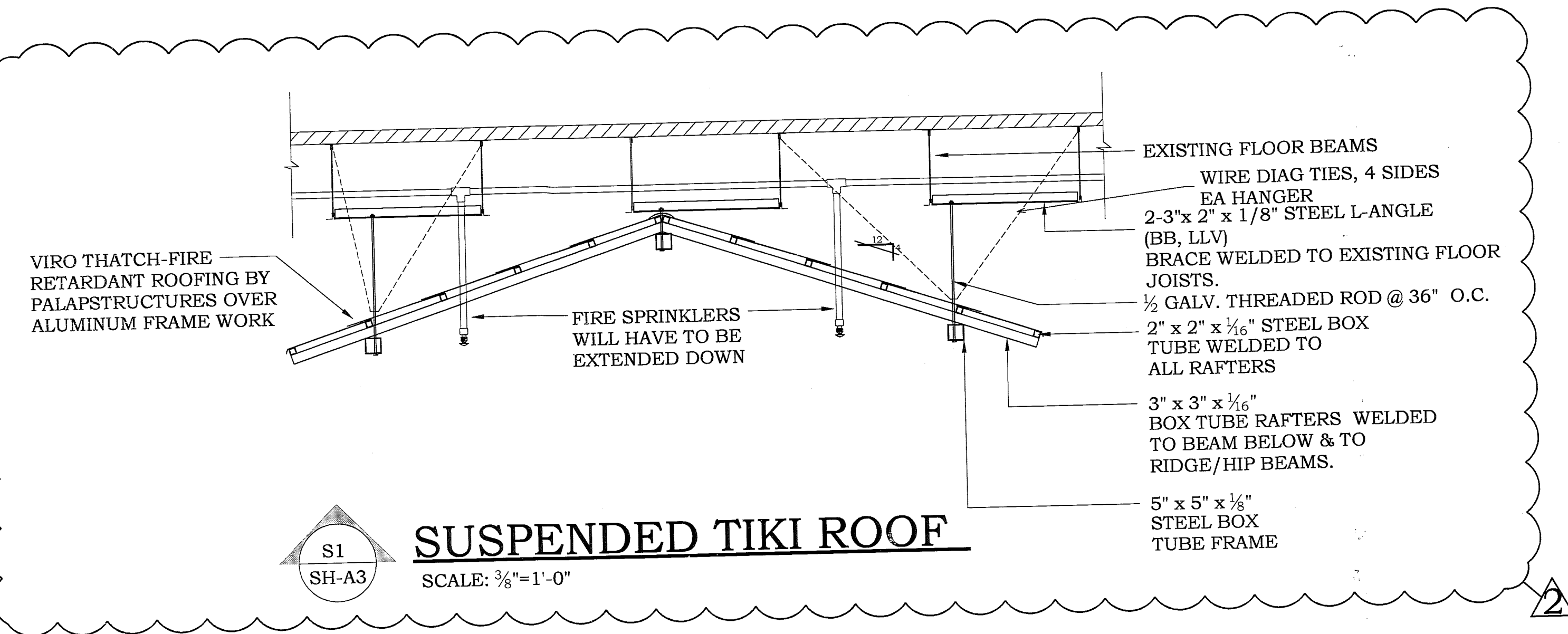
EXTERIOR DOOR SCHEDULE									
CONTRACTOR TO FIELD VERIFY ALL EXISTING OPENINGS PRIOR TO ORDERING WINDOWS									
SYMBOL	WINDOW TYPE	MANUFACTURER	SIZE	HEAD HEIGHT	LOCATION	NOTES	FLORIDA PRODUCT APPROVAL #	IMPACT	
1	SLIDER	802570 6PST	216" x 96"	8'-0"	ELEVATION 11'		8208.2	YES	
2	FRENCH DOOR	FD555 3080	37 1/2" x 85 3/4"	8'-0"	ELEVATION 12'		831.3	YES	
4	FIBERGLASS SWING	THERMA-TRU	27 3/4" x 95 3/4"	8'-0"	ELEVATION 12'		5891.4	YES	
	BAHAMAN SHUTTERS	GULFSTREAM	VARIES				12-0426.10	YES	

THIS PLAN HAS BEEN REVIEWED, ENGINEERED AND SUPERVISED BY:
J.C. KOSINSKI ENGINEERING, INC.
JOSEPH C. KOSINSKI, PE
 FL PE #52288
 FL COA #8576
 135 GULFVIEW AVE
 FORT MYERS BEACH, FLORIDA. 33931
 (239) 872-2179 (239) 463-2780 FAX

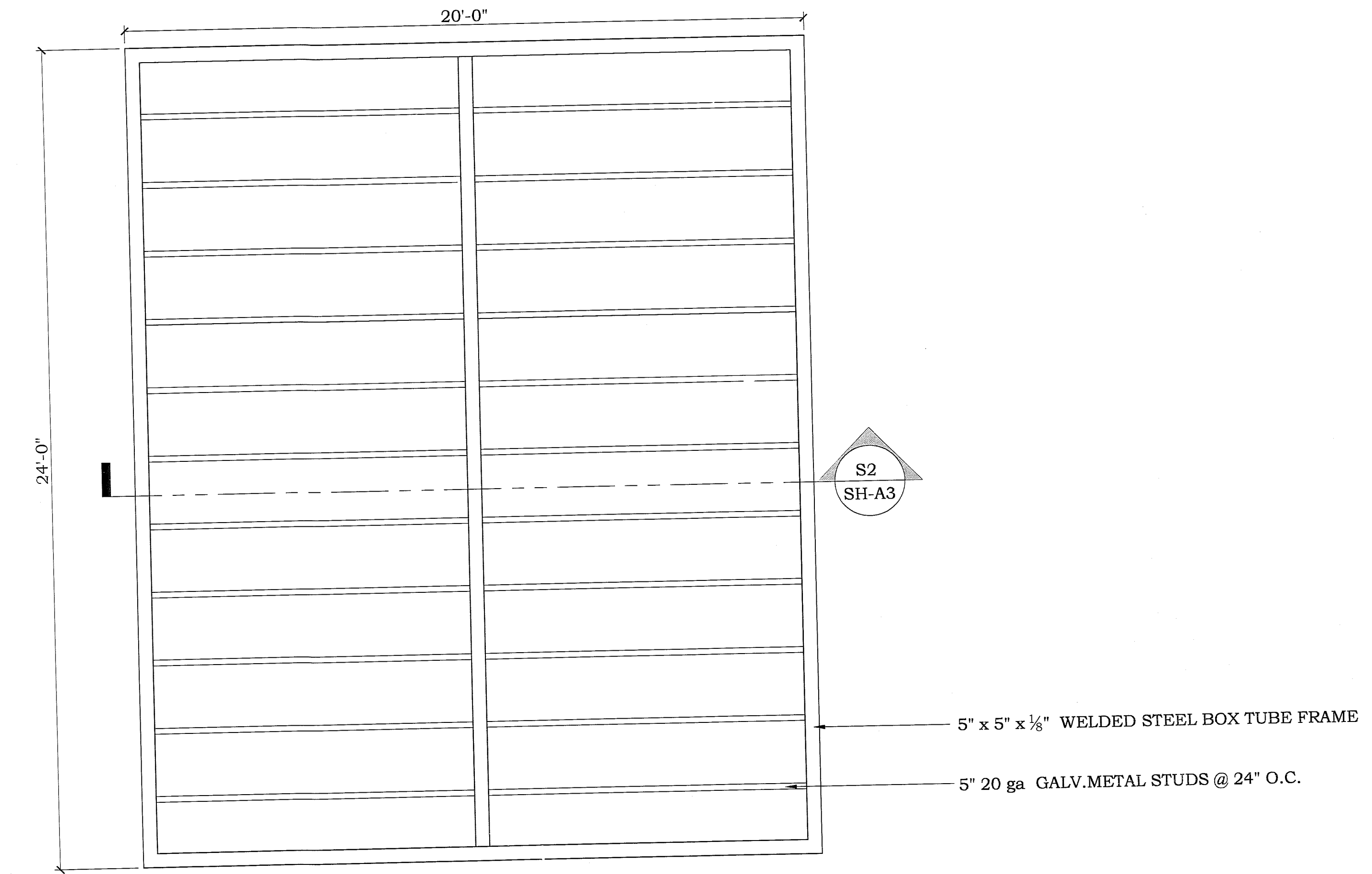




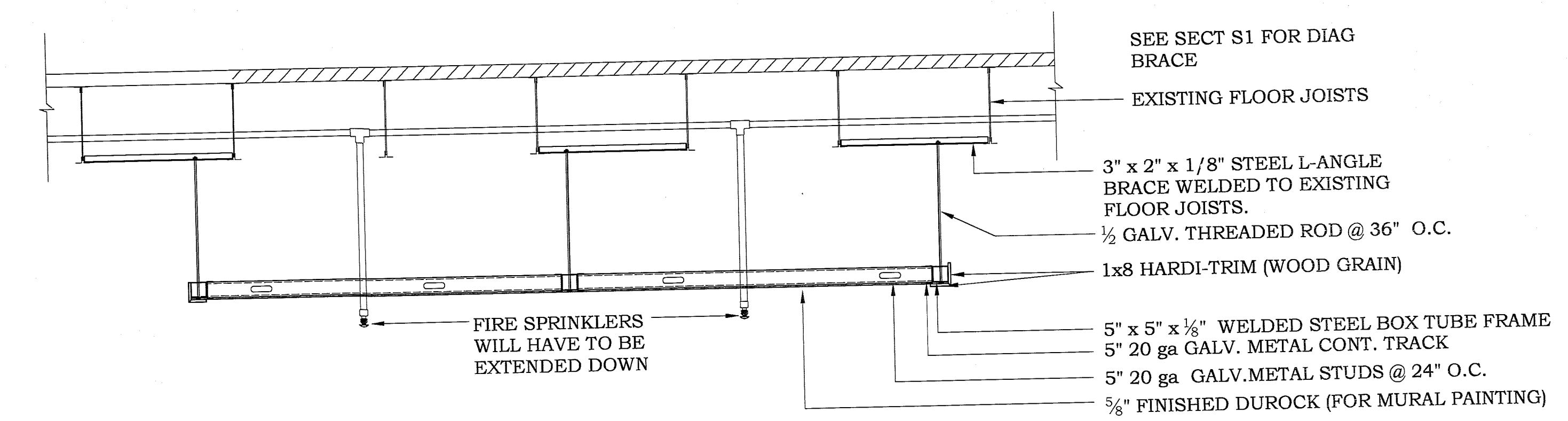
SUSPENDED TIKI ROOF FRAMING
SCALE: 3/8"=1'-0"



S1 SH-A3
SUSPENDED TIKI ROOF
SCALE: 3/8"=1'-0"



SUSPENDED MURAL ROOF FRAMING
SCALE: 3/8"=1'-0"



S2 SH-A3
SUSPENDED MURAL ROOF
SCALE: 3/8"=1'-0"

NOTE: ALL WELDS SHALL BE 3/16" d. METAL FRAME SHALL PRIMED & PAINTED WITH A RUST PREVENTATIVE PAINT. (COLOR AS PER OWNER'S REQUEST)

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Project Name and Address

Client/Owner

Design/Engineer

Scale

Project No.

Sheet Name

Sheet No.

2013

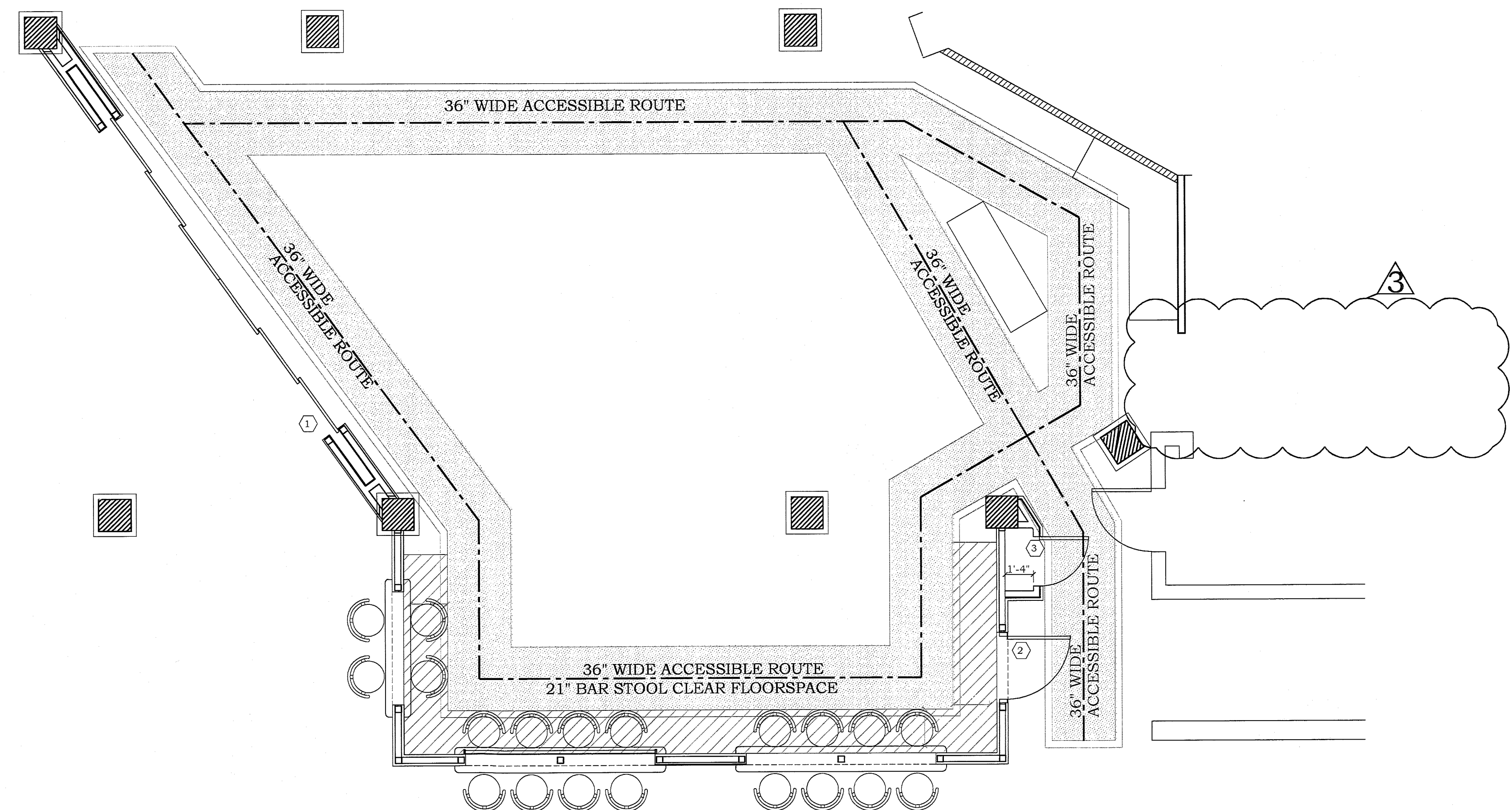
REFLECTED CEILING PLAN

A3

FOR STRUCTURAL WORK ONLY

<u>PER FBC 1004:</u>	
OUTDOOR DINING #1 (ASSEMBLY)	1,027 SQ FT @ 15 SQ FT/PERSON= 68
OUTDOOR BAR AREA (BAR SEATING, ASSEMBLY)	51'-4" SQ FT @ 24" LF/PERSON= 25
KITCHEN (GRILLE AREA)	216 SQ FT @ 100 SQ FT/PERSON= 02
<u>TOTAL OCCUPANCY</u>	<u>95 PERSONS</u>

<u>PER FFPC 101:7.3.1.2:</u>	
OUTDOOR DINING #1 (ASSEMBLY)	1,024 SQ FT @ 15 SQ FT/PERSON= 68
OUTDOOR BAR AREA (BAR SEATING, ASSEMBLY)	51' 4" LF @ 18' LF/PERSON= 34
KITCHEN (COMMERCIAL KITCHEN)	216 SQ FT @ 100 SQ FT/PERSON= 02
<u>TOTAL OCCUPANCY</u>	<u>106 PERSONS</u>



(SCALE: $\frac{1}{4}"=1'-0"$)

- ALL NEW ELECTRICAL (POWER / LIGHTING / FANS / SWITCHES) SHALL BE LOCATED ABOVE FLOOD (13'-0" N.A.V.D.) (SEE ELEVATIONS)

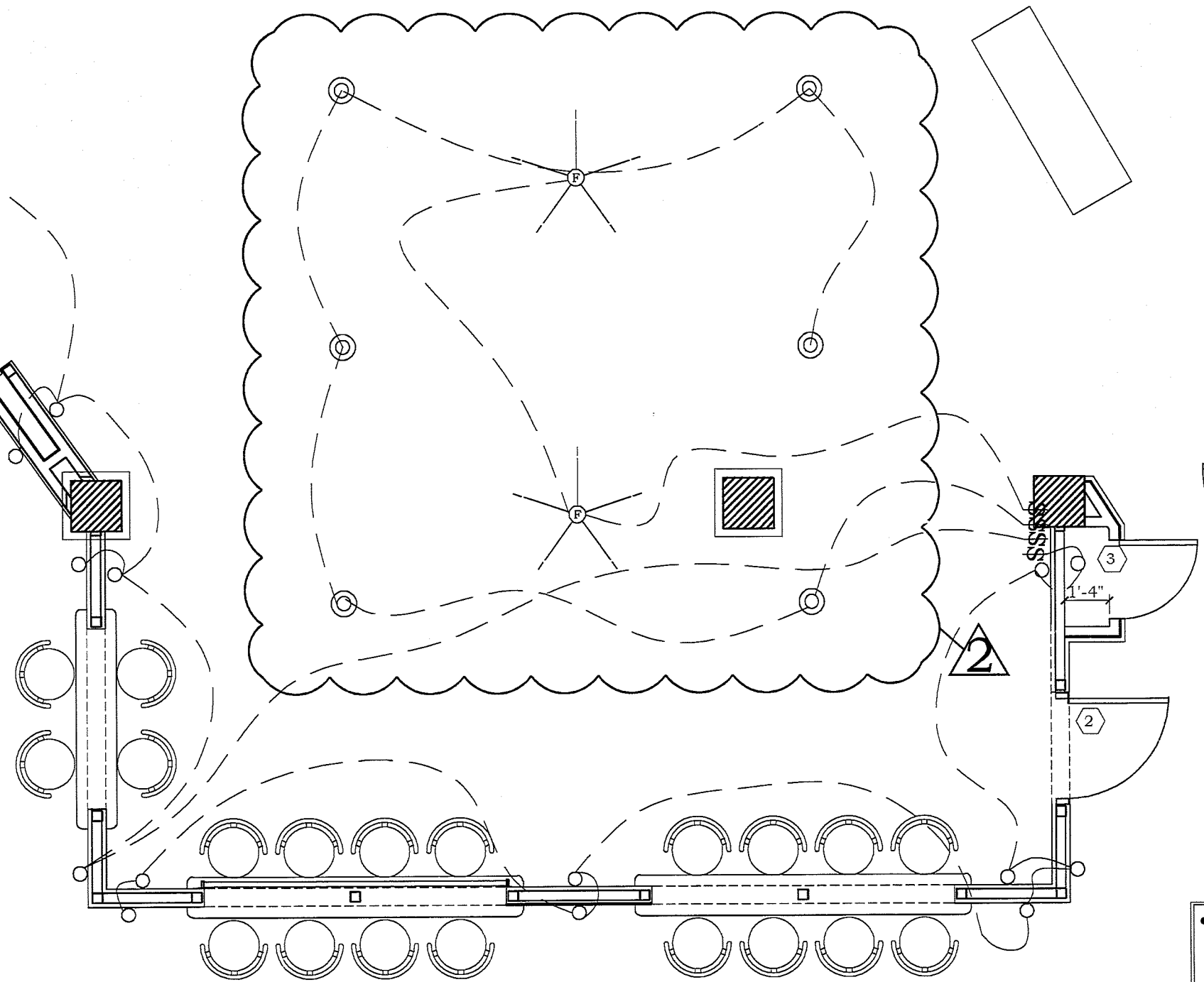
—EXISTING ELECTRICAL SUB-PANEL SHALL BE RELOCATED INSIDE THE EXISTING "FLOOD PROOF" REST ROOM & BE ON THE WALL. (DO NOT PENETRATE WALL OR SLAB BELOW FLOOD ELEVATION 13'-0" N.A.V.D.)

[illegible]

<u>GENERAL LOADS</u>	
PER NEC ART 220	
RESTURANT 10275F @ 2VA/SF x1.25	2568 VA
TOTAL	2568 VA
LOAD @ 240V	11 AMPS
ADD EXISTING 38A LOAD	49 AMPS
SINGLE PHASE SERVICE	USE EX 80 AMP PANEL

\$ LIGHT SWITCH
 ○ ELECTRICAL TIKI
 HANGING PENDANTS
 CEILING FAN
 RECESSED CAN
 LIGHT
 EXACT LOCATION TO BE
 DETERMINED IN FIELD

- NEW LIGHTING/ELECTRICAL TO BE CONNECTED TO SPARES ON EXISTING PANEL (V.I.F.)



(SCALE: $\frac{1}{4}"=1'-0"$)

15	A	ELECTRICAL CLASSIFICATION	4L	10-1-15
16	A	DOOR REMOVAL	4L	9-28-15
17	A	CONCRETE COMMENTS FROM REVISIONS	4L	7-28-15
18	A	PERMIT APPLICATION	1-NOW/13	
19	No	Issue	Page	Date
20	No	Revision	Page	Date

**TOM K'S
TIKI BAR**
1051 5th Street
Ft. Myers FLORIDA
33931

Checked by:	JM
Drawn by:	D.O
Scale	AS NOTED
Project No.	C13-0017

**ELECTRICAL PLAN &
ACCESSIBLE ROUTES
PLAN**

Sheet No. _____

A5